

November 1st, 2016

City of Seattle
 Department of Planning and Development
 700 Fifth Ave., Suite 2000
 P.O. Box 34019
 Seattle, WA 98124-4019

RE: Permit Correction Response #2 – 3020114
 6726 Greenwood Ave N | Seattle, WA

Please see the written response to your corrections below.
 Feel free to call with any questions.

Thank you.

Zoning

Correction Notice #2
 Lori L Swallow
 September 4th, 2016

Corresponding Correction item #	Applicant Response
1) Project Summary	Resolved.
2) Street Frontage Uses.	Resolved.
3) Street Level development	Resolved.
4) Structure Height	Additional documentation has been provided on a new sheet, G0.02B. That sheet has been added to the end of the set.
5) Floor area Ratio	FAR has been reconciled on sheet G0.02A & the Building Data on sheet G0.01.
6) Rooftop features	A shadow study showing the shadow impact on January 21 at 12pm, as indicated by SMC 23.47A.012.C7 has been provided as part of this response. The study shows the additional shadow caused by the clerestory in the Northwest corner only provides additional shade to the public right of way.
7) Roof Plan	Resolved.
8) Amenity Area	The amenity area is dimensioned and resulting square footage is shown on sheet G0.02A. The square footage totals are also shown on the building data on sheet G0.01.
9) Parking	Resolved.
10) Façade transparency	Resolved.

11) FAR dimensions	Resolved.
12) FAR	Resolved.
13) Site Plan	Resolved.
14) Commercial Spaces	Resolved.
15) Residential frontage	Resolved.
16) Bike parking	Based on the vested Seattle Municipal Code Five (5) units meet the classification as SEDUs (Units 212,312, 202,302,402) A required bicycle parking table has been provided on the site plan. See sheet A1.00.
17) Rooftop features	Resolved.
18) Amenity Areas	Resolved.
19) Blank Facades	Resolved.
20) Canopy	Resolved.
21) Venting	Resolved.
22) Landscape	Resolved.
23) Landscape	Resolved.
24) Major Odors	Resolved.
25) Mezzanine plans	Resolved.
26) Lot Line	The canopy has been labeled and dimensioned.
27) Garbage calc.	Resolved.
28) Bike Parking	Resolved.
29) Height Calculation	The calculation has been revised. Some survey points do not show on the printed survey, but are included within the survey file. An exhibit showing the survey points that were used for the average grade plane calculation along the South edge has been provided as part of this response. See revised calculation on sheet A1.00.
30) Height Calculation	The calculation has been revised, and the points shown on the diagram on Sheet A1.00 now match the calculation. The average grade plan has been updated accordingly on the elevations & sections – See sheets A3.01-A3.22.

Land Use

Correction Notice #1
Michael Dorcy
April 5th, 2016

Corresponding Correction item #	Applicant Response
1) DRB Conditions	Project was approved by the design review board on Monday, Sept 26, 2016. The board's conditions for approval are listed on the plans on sheet G0.02A.

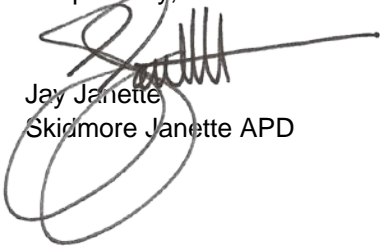
Transportation

Correction Notice #1
John Shaw

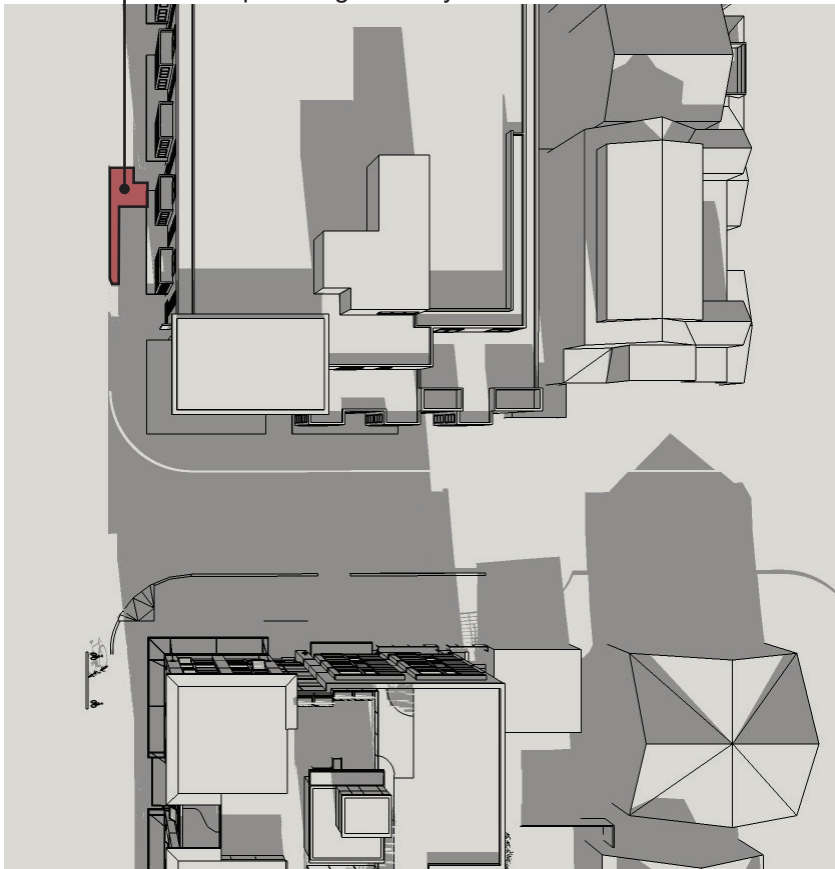
Corresponding Correction item #	Applicant Response
1) Traffic Study	An updated traffic study from Gibson Traffic Consultants dated 10/28/2016 has been uploaded as part of this correction cycle.

If there are any remaining issues that we need to resolve, please don't hesitate to contact me directly to resolve over the phone or email *in lieu of another review cycle.*

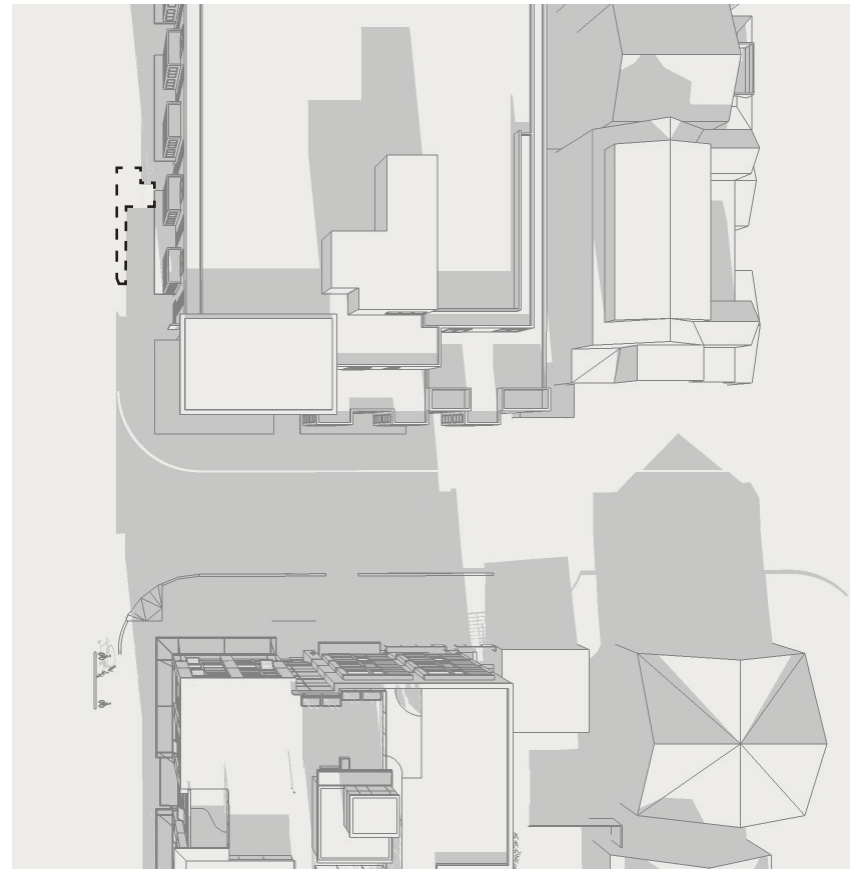
Respectfully,


Jay Janette
Skidmore Janette APD

Shadow from rooftop feature
only impact of additional shadow is
within public right of way



January 21, 12pm
With rooftop features



January 21, 12pm
Without rooftop features

