

December 12th, 2016

City of Seattle  
 Department of Planning and Development  
 700 Fifth Ave., Suite 2000  
 P.O. Box 34019  
 Seattle, WA 98124-4019

**RE: Permit Correction Response #3 – 3020114**  
 6726 Greenwood Ave N | Seattle, WA

Please see the written response to your corrections below.  
 Feel free to call with any questions.

Thank you.

**Zoning**

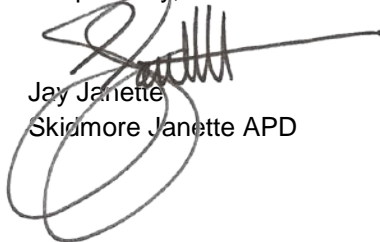
Correction Notice #2  
 Lori L Swallow  
 September 4th, 2016

Corresponding Correction item #	Applicant Response
1) Project Summary	Resolved.
2) Street Frontage Uses.	Resolved.
3) Street Level development	Resolved.
4) Structure Height	Resolved.
5) Floor area Ratio	Resolved.
6) Rooftop features	The shadow impact exhibit provided as part of the cycle 2 correction responses has been added to the plan set. <i>See sheet G0.02B.</i>
7) Roof Plan	Resolved.
8) Amenity Area	The amenity area is dimensioned on both the roof deck and the FAR diagrams. However, for clarification a separate "Amenity" diagram has been added to sheet G0.02A clearly showing the square footages and dimensions. <i>See sheet G0.02A.</i>
9) Parking	Resolved.
10) Façade transparency	Resolved.
11) FAR dimensions	Resolved.
12) FAR	Resolved.
13) Site Plan	Resolved.

14) Commercial Spaces	Resolved.
15) Residential frontage	Resolved.
16) Bike parking	For clarification, language indicating the requirements is shown in the Land Use Summary on sheet G0.02A, and complete calculations are provided on the site plan. <i>See sheet A1.00.</i>
17) Rooftop features	Resolved.
18) Amenity Areas	The amenity area is dimensioned on both the roof deck and the FAR diagrams. However, for clarification a separate "Amenity" diagram has been added to sheet G0.02A clearly showing the square footages and dimensions. <i>See sheet G0.02A</i>
19) Blank Facades	Resolved.
20) Canopy	Resolved.
21) Venting	Resolved.
22) Landscape	Resolved.
23) Landscape	Resolved.
24) Major Odors	Resolved.
25) Mezzanine plans	Resolved.
26) Lot Line	Additional dimensions showing compliance with the 6' minimum distance from the curb have been added to the site plan. <i>See sheet A1.00.</i>
27) Garbage calc.	Resolved.
28) Bike Parking	Resolved.
29) Height Calculation	The exhibit provided as part of the cycle 2 correction responses has been added to the site plan, where the rest of the average grade plane calculations are located. <i>See sheet A1.00.</i>
30) Height Calculation	Resolved.

If there are any remaining issues that we need to resolve, please don't hesitate to contact me directly to resolve over the phone or email *in lieu of another review cycle.*

Respectfully,



Jay Janette  
Skidmore Janette APD