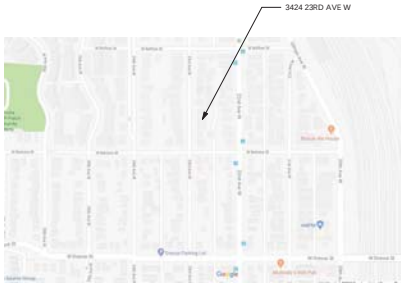


1 **VICINITY MAP LOT B**

LOT B MUP SHEET LIST	
Sheet Number	Sheet Name
A-0.0	NOTES PROJECT DATA VICINITY MAP
V1	TOPOGRAPHIC SURVEY
V2	SHORT SUBDIVISION
V3	SHORT SUBDIVISION
V4	SHORT SUBDIVISION
V5	SHORT SUBDIVISION
V6	SHORT SUBDIVISION
A-1.0	SITE PLAN
L1	LANDSCAPE PLAN
L2	LANDSCAPE REQUIREMENTS
A-1.1	HEIGHT CALC & AMENITY AREA
A-1.2	RENDERINGS
A-2.0	FAR DIAGRAMS
A-2.1	FLOOR PLANS
A-2.2	FLOOR PLANS
A-2.3	FLOOR PLANS
A-3.1	ELEVATIONS
A-3.2	ELEVATIONS
A-4.0	GLAZING SCHEDULE & WSEC NOTES
A-4.2	BUILDING SECTIONS

ARCHITECTURAL NOTES:

(THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE PLANS)

1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL RESIDENTIAL CODE (2015 EDITION) WITH SEATTLE AMENDMENTS.

2. CONTRACTOR: SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED.

3. CONTRACTOR: SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.

4. CONTRACTOR: SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE WORK.

5. DRAWINGS: INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT/DESIGNER.

6. ALL WOOD PLATES: IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE. PROVIDE 2 LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER BETWEEN UNTREATED LEDGERS, BLOCKING, ETC., AND CONCRETE OR MASONRY.

7. PRESSURE TREATED LUMBER: ALL FASTENERS AND CONNECTORS THAT ARE IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED WITH A MINIMUM COATING OF G90 (.90oz/sf) PER ASTM A123 AND/OR ASTM A153. 304 OR 316 STAINLESS STEEL MAY BE SUBSTITUTED IN LIEU OF GALVANIZED PRODUCTS. NO STAINLESS STEEL PRODUCTS SHALL COME IN CONTACT WITH GALVANIZED PRODUCTS.

8. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO WASHINGTON STATE ENERGY CODE (2015 EDITION) WITH SEATTLE AMENDMENTS.

* ALL INTERIOR WALLS TO BE 2x4 @ 24" O.C. (U.N.O.)
* ALL EXTERIOR WALLS 2x6 PER STRUCTURAL
* HEADERS PER STRUCTURAL
* WINDOW SIZES ARE NOMINAL ROUGH OPENING, WIDTH AND HEIGHT.
* PROVIDE FIREBLOCKING AT ALL PLUMBING OPENINGS.
* PROVIDE SOLID BLOCKING OVER SUPPORTS.
* IN SEISMIC ZONES D0, D1 & D2, WATER HEATERS SHALL BE ANCHORED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER ONE-THIRD AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSIONS PER SRC R802.11
* PROVIDE OUTDOOR COMBUSTION AIR FOR FURNACE AND WATER HEATER PER SRC G2407.6.

"CONSTRUCTION EROSION CONTROL MEASURES MUST BE IN PLACE AND APPROVED BY SDCI PRIOR TO ANY EARTH DISTURBANCE. CALL 684-8860 TO SCHEDULE AN INSPECTION APPOINTMENT"
NO SEDIMENT SHALL BE TRACKED INTO THE STREET OR ONTO PAVED SURFACES. SEDIMENT SHALL BE REMOVED FROM TRUCKS AND EQUIPMENT PRIOR TO LEAVING THE SITE. IN THE EVENT OF FAILURE OF EROSION CONTROL SYSTEM RESULTING IN SEDIMENT BEING TRACKED ONTO PAVED SURFACES, THE CONTRACTOR SHALL IMMEDIATELY IMPLEMENT MEASURES TO CORRECT THE SITUATION, AND STREET SWEEPING SHALL BE EMPLOYED ON AN EMERGENCY BASIS. IF STREET SWEEPING VEHICLES ARE UTILIZED, THEY SHALL BE OF THE TYPE THAT ACTUALLY REMOVES SEDIMENT FROM THE PAVEMENT.

SMC 23.45.534 LIGHT AND GLARE STANDARDS
A. EXTERIOR LIGHTING SHALL BE SHIELDED AND DIRECTED AWAY FROM ADJACENT PROPERTIES.

3424 23rd Ave W

3424 23rd Ave W, Seattle WA 98199

PROJECT INFORMATION

SCDI PROJECT # :
MUP # 3032941-LU

PROJECT DESCRIPTION:

SEPA REVIEW, DEMO TRIPLEX, CONSTRUCT (2) TOWNHOUSES WITH (2) OPEN PARKING STALLS. FUTURE UNIT LOT SUBDIVISION. FUNCTIONALLY RELATED TO #3032878-LU, OFFSITE PARKING FOR 3420 23RD AVE WEST LOCATED ON 3424 23RD AVE WEST)

LEGAL DESCRIPTION:

THE EAST 60.00 FEET OF LOT 8, BLOCK 11 GILMAN'S ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT RECORDED IN VOLUME 5 OF PLATS, PAGE 93, IN KING COUNTY, WASHINGTON;

TOGETHER WITH AND SUBJECT TO EASEMENT NUMBER 2, SHOWN AND DESCRIBED HEREON;

SUBJECT TO EASMENTS NUMBERED 1 AND 3, SHOWN AND DESCRIBED HEREON.

AKA PARCEL B OF SHORT SUBDIVISION NO. 3032857-LU

TAX # :
#277060-1470

PROJECT TEAM

OWNER/ APPLICANT :
MIRRA HOMES
11624 SE 5TH ST, SUITE 210
BELLEVUE, WA 98005
P 206.383.7095

STRUCTURAL ENGINEER :
MALSAM TSANG STRUCTURAL ENGINEERING
MARC MALSAM, PE, SE
122 S JACKSON ST, SUITE 210
SEATTLE, WA 98104
P 206.498.2674
MarcM@malsam-tsang.com

SURVEYOR :
TERRANE
ANDY MCANDREWS
10801 MAIN STREET, SUITE 102
BELLEVUE, WA 98004
P 425.458.4488
andym@terrane.net

ARCHITECT/PROJECT CONTACT:
JULIAN WEBER ARCHITECTS, LTD
1257 S KING ST
SEATTLE, WA 98144
P 206.953.1305
dpd@jwaseattle.com

LANDSCAPE ARCHITECT :
DEVIN PETERSON
ROOT OF DESIGN, LLC
7104 266TH ST NW, SUITE #218
STANWOOD, WA 98292
P 206.491.9545

CIVIL ENGINEER :
TIM GABELEIN, PE
9706 4TH AVE NE, SUITE 300
SEATTLE, WA 98115
P 206.523.0024 X105
tim@dcgengr.com
DAVIDO CONSULTIG GROUP, INC.

PROJECT DATA

ZONE: LR1

URBAN VILLAGE: NO

LOT AREA: 3,000 SF

FLOOR AREA RATIO:
(CALCULATED TO INSIDE FACE OF WALL STRUCTURE)
SEE SHEET A2.0 FOR DIAGRAM

FAR AREA SUMMARY (ALLOWED) LOT 8		
LOT AREA	FAR ALLOWED	FAR PROPOSED
3,000.0 SF	2,300.0 SF	2,295.2 SF

PARKING: 1 PARKING STALL PER UNIT REQUIRED, (2) OPEN PARKING STALLS PROVIDED

DENSITY LIMIT PER SMC 23.45.512:
3,000 X 1 UNIT/ 1,600 SF = 1.88 (2) UNITS ALLOWED

SETBACKS PER SMC 23.45.518:

	REQUIRED:	ACTUAL:
SIDE NORTH	5.0' SIDE SETBACK	5.0'
SIDE SOUTH	5.0' SIDE SETBACK	5.0'
REAR EAST	7.0' AVERAGE, 5.0' MINIMUM REAR SETBACK (ALLEY)	21'-11"
FRONT WEST	5.0' MINIMUM FRONT SETBACK, 7.0' AVERAGE	10'-0"

STRUCTURE HEIGHT LIMIT PER PER SMC 23.45.514:
30' TOP OF ROOF, 4' PARAPET, 10' PENTHOUSE BONUS
(SEE SHEET A1.1 FOR HEIGHT CALCULATION)

STRUCTURE FACADE LENGTH < 15' OF PROPERTY LINE PER SMC 23.45.527:
(65% PROPERTY LENGTH)

NORTH: 60.0' X .65= 39.0' ALLOWED FACADE LENTH. 34.0' PROVIDED

SOUTH: 60.0' X .65= 39.0' ALLOWED FACADE LENTH. 34.0' PROVIDED

AMENITY AREA PER SMC 23.45.522:
25% LOT AREA REQUIRED, 50 % GROUND RELATED
(SEE SHEET A1.1 FOR AMENITY AREA DIAGRAM)

LOT B REQUIRED AMENITY		
LOT AREA	REQUIRED AMENITY	REQUIRED GROUND
3,000.0 SF	750.0 SF	375.0 SF

Amenity Area Summary-TH	
Comments	Area
GROUND	500.0 SF
ROOF	358.4 SF
	858.4 SF

JULIAN WEBER ARCHITECTS, LTD

1257 S King St
Seattle, WA 98144
203.953.1305

www.jwaseattle.com

9458 REGISTERED ARCHITECT JULIAN R. WEBER STATE OF WASHINGTON

MIRRA HOMES

11624 SE 5TH ST, SUITE 210
BELLEVUE, WA 98005
P 206.383.7095

3424 23rd Ave W

3424 23rd Ave W
Seattle, WA 98199

SDCI APPROVAL STAMP HERE

MUP # 3032941-LU

Date	Description
10.16.2018	MUP Submittal

NOTES
PROJECT
DATA
VICINITY MAP

Scale As indicated
Date 10/16/2018

A-0.0

Project Number JWA#493

10/16/2018 2:35:13 PM

SIZE THRESHOLDS FOR COMMON AND NATIVE SEATTLE TREES TO BE CONSIDERED FOR EXCEPTIONAL STATUS, PER DPD DIRECTOR'S RULE 16-2008

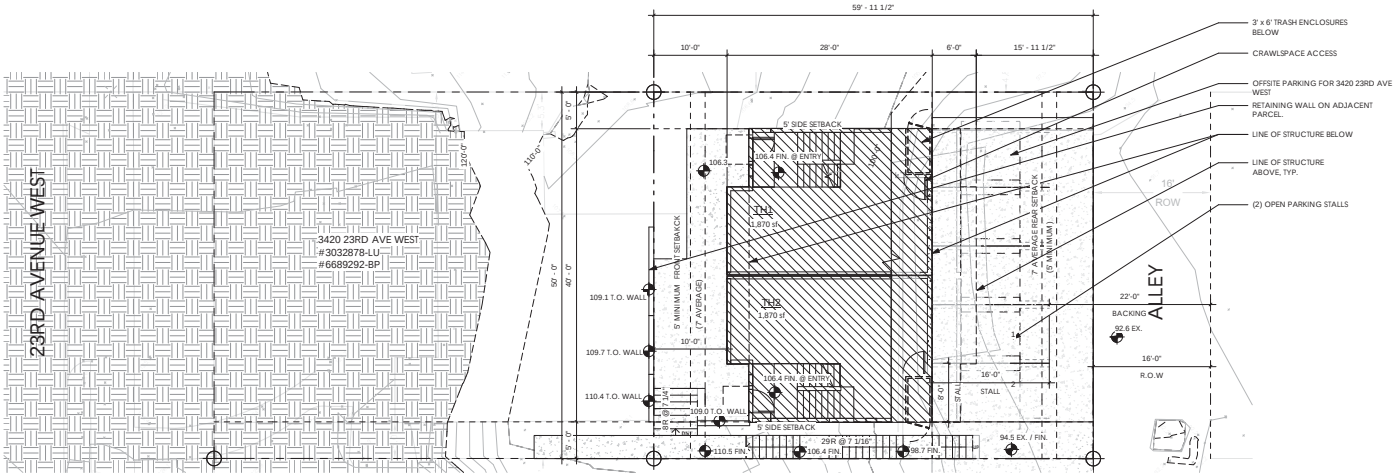
NATIVE SPECIES

SPECIES	THRESHOLD DIAMETER
Red ALDER – Alnus rubra	Not Exceptional except in grove
Sitka ALDER – Alnus sinuata	6 in
Oregon ASH – Fraxinus latifolia	2 ft
Quaking ASPEN – Populus tremuloides	1 ft
Paper BIRCH – Betula papyrifera	1 ft 8 in
CASCARA – Rhamnus purshiana	8 in
Western Red CEDAR – Thuja plicata	2 ft 6 in
Bitter CHERRY – Prunus emarginata var. mollis	Not Exceptional except in grove
Black COTTONWOOD – Populus balsamifera ssp. trichocarpa (P. trichocarpa)	Not Exceptional except in grove
Pacific CRABAPPLE – Malus fusca	1 ft
Pacific DOGWOOD – Cornus nuttallii	6 in
Douglas FIR – Pseudotsuga menziesii	2 ft 6 in
Grand FIR – Abies grandis	2 ft
Black HAWTHORN – Crataegus douglasii	6 in
Western HEMLOCK – Tsuga heterophylla	2 ft
MADRONA – Arbutus menziesii	6 in
Bigleaf MAPLE – Acer macrophyllum	2 ft 6 in
Dwarf or Rocky Mountain MAPLE – Acer glabrum var.Douglasii	6 in
Vine MAPLE – Acer circinatum	8 in
Oregon White or Garry OAK – Quercus garryana	6 in
Lodgepole PINE – Pinus contorta	6 in
Shore PINE – Pinus contorta 'contorta'	1 ft
Western White PINE – Pinus monticola	2 ft
Western SERVICEBERRY – Amelanchier alnifolia	6 in
Sitka SPRUCE – Picea sitchensis	6 in
WILLOW (All native species) – Salix sp. (Geyeriana ver meleina, eriocephala ssp. mackenzieana, Hookeriana, Piperi, Scouleriana, sitchensis)	8 in
Pacific YEW – Taxus brevifolia	6in

NON-NATIVE SPECIES

SPECIES	THRESHOLD DIAMETER
Orchard (Common) APPLE – Malus sp.	1 ft 8 in
European ASH – Fraxinus excelsior	1 ft 10 in
Green ASH – Fraxinus pennsylvanica	2 ft 6 in
Raywood ASH – Fraxinus oxycarpa	2 ft
European BEECH – Fagus sylvatica	2 ft 6 in
European White BIRCH – Betula pendula	2 ft
Atlas CEDAR – Cedrus atlantica	2 ft 6 in
Deodor CEDAR – Cedrus deodara	2 ft 6 in
Incense CEDAR – Calocedrus decurrens	
Flowering CHERRY – Prunus sp. (serrula, serrulata, sargentii, subhirtella, yedoensis)	1 ft 11in
Lawson CYPRESS – Chamaecyparis lawsoniana	2 ft 6 in
Kousa DOGWOOD – Cornus kousa	1 ft
Eastern DOGWOOD – Cornus florida	1 ft
American ELM – Ulmus americana	2 ft 6 in
English ELM – Ulmus procera	2 ft 6 in
GINGKO – Ginkgo biloba	2 ft
Common HAWTHORN Crataegus laevigata	1 ft 4in
Washington HAWTHORN – Crataegus phaenopyrum	9 in
European HORNBEAM – Carpinus betulus	2 ft 6 in
Common HORSE CHESTNUT – Aesculus hippocastanum	2 ft 6 in
Red HORSE CHESTNUT – Aesculus x carnea	2 ft 6 in
KATSURA – Cercidiphyllum japonicum	2 ft 6 in
Littleleaf LINDEN – Tilia cordata	2 ft 6in
Honey LOCUST – Gleditsia triancanthos	1 ft 8 in
Southern MAGNOLIA – Magnolia grandiflora	1 ft 4 in
Paperbark MAPLE – Acer griseum	1 ft
Japanese MAPLE – Acer palmatum	1 ft
Norway MAPLE – Acer platanoides	2 ft 6 in
Red MAPLE – Acer rubrum	2 ft 6 in
Sugar MAPLE – Acer saccharum	2 ft 6 in
Sycamore MAPLE – Acer pseudoplatanus	2 ft
MONKEY PUZZLE TREE – Araucaria araucana	1 ft 10 in
MOUNTAIN ASH – Sorbus aucuparia	2 ft 5 in
Pin OAK – Quercus palustris	2 ft 6 in
Red OAK – Quercus rubra	2 ft 6 in
Callery PEAR – Pyrus calleryana	1 ft 1 in
Austrian Black PINE – Pinus nigra	2 ft
Ponderosa PINE – Pinus ponderosa	2 ft 6 in
Scot's PINE – Pinus sylvestris	2 ft
London PLANE – Platanus acerifolia	2 ft 6 in
Flowering PLUM – Prunus cerasifera	1 ft 9 in
Coastal REDWOOD – Sequoia sempervirens	2 ft 6 in
Giant SEQUOIA – Sequoiadendron giganteum	2 ft 6 in
Japanese SNOWBELL – Styrax japonica	1 ft
American SWEETGUM – Liquidambar styraciflua	2 ft 3 in
TULIP TREE – Liriodendron tulipifera	2 ft 6 in
WILLOW (All non-native species)	2 ft

NOTE: NO TRESS ON THIS SITE MEET THE REQUIREMENTS FOR "EXCEPTIONAL TREES"



1 **LOT B Site Plan**

SCALE: 1/8" = 1'-0"

JULIAN WEBER ARCHITECTS, LTD

1257 S King St
Seattle, WA 98144
203.953.1305

www.jwaseattle.com

9458 REGISTERED ARCHITECT JULIAN R. WEBER STATE OF WASHINGTON

MIRRA HOMES

11624 SE 5TH ST, SUITE 210
BELLEVUE, WA 98005
P 206.383.7095

3424 23rd Ave W

3424 23rd Ave W
Seattle, WA 98199

SDCI APPROVAL STAMP HERE

MUP # 3032941-LU

Date	Description
10.16.2018	MUP Submittal

SITE PLAN

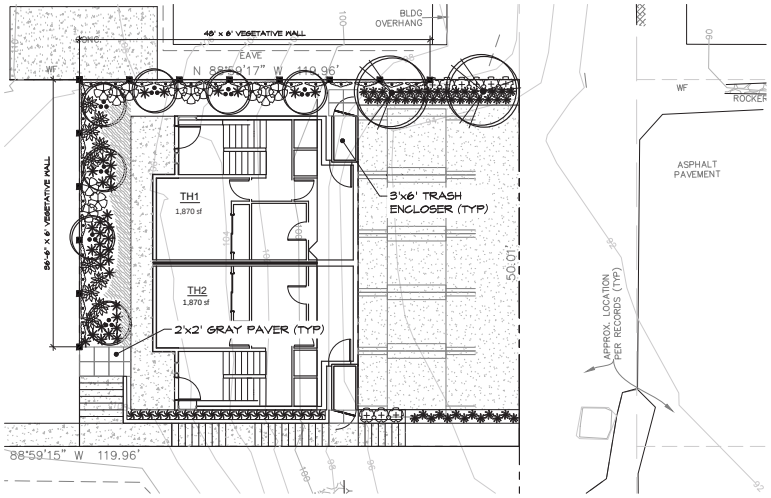
Scale: As indicated

Date: 10/16/2018

A-1.0

Project Number: JWA#493

10/16/2018 2:35:14 PM

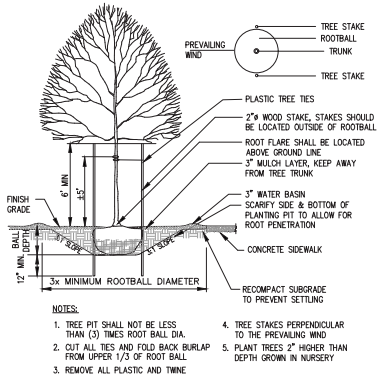


LANDSCAPE PLAN

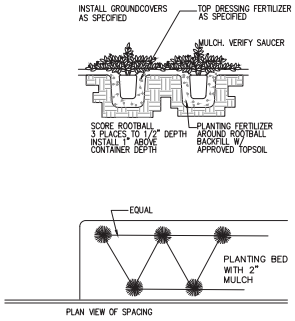
PLANT SCHEDULE *

TREES	BOTANICAL NAME / COMMON NAME	SIZE	DROUGHT TOLERANT	NATIVE		QTY
	Acer circinatum / Vine Maple	3 stem min, 6' Ht	Yes	Yes		7
	Acer rubrum 'Bonhall' / Bonhall Maple	1.5"Cal	No	No		2
SHRUBS	**BOTANICAL NAME / COMMON NAME**	**SIZE**	**DROUGHT TOLERANT**	**NATIVE**		**QTY**
	Acorus gramineus 'Ogon' / Golden Variegated Sweetflag	1 gal	Yes	No		35
	Carex oshimensis 'Everillo' / Everillo Japanese Sedge	1 gal	Yes	No		22
	Leucothoe fontanesiana 'Rainbow' / Rainbow Leucothoe	2 gal	Yes	No		12
	Liriope muscari 'Big Blue' / Big Blue Lilyturf	1 gal	Yes	No		44
	Nandina domestica 'Gulf Stream' TM / Heavenly Bamboo	2 gal	Yes	No		9
	Pieris japonica 'Cavatine' / Lily of the Valley Bush	3 gal	Yes	No		10
VINES	**BOTANICAL NAME / COMMON NAME**	**SIZE**	**DROUGHT TOLERANT**	**NATIVE**		**QTY**
	Hydrangea anomala petiolaris 'Miranda' / Climbing Hydrangea	1 gal	Yes	No		24
GROUND COVERS	**BOTANICAL NAME / COMMON NAME**	**SIZE**	**DROUGHT TOLERANT**	**NATIVE**	**SPACING**	**QTY**
	Vinca minor 'Bowles Blue' / Dwarf Periwinkle	4"pot	Yes	No	24" o.c.	19

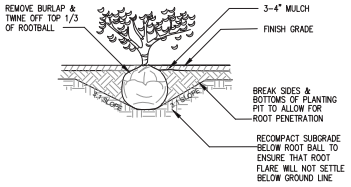
NOTES:
-See soil amendment detail for soil specifications COS plan 142.
-See bioretention planter detail for bioretention specifications.
-All planting beds to receive minimum 3-4" of mulch.
-Contractor shall be responsible for providing the quantities of plants that are represented by symbols on the drawings.
-Street Tree required. Plant Street Tree per COS Plan 100a. Water Tree for 3 growing seasons after planting.
-SDOT requires two inspections for street trees. First is the pre-plant inspection. Trees are inspected before going into the ground, soil amendment/root barrier is inspected. Second is final inspection. To schedule inspections, email SDOT_LA@seattle.gov 48-72 hours advanced notice to schedule onsite inspections.
-For all Vegetated Walls, train vines to adjacent green wall facade. Do not allow vines to grow on siding of buildings. Annual maintenance may be necessary as vines mature and spread.
-All plantings and landscape elements required as part of this building permit must be maintained for the minimum required planting area or Green Factor score, non features must be added to compensate. This requirement also applies to landscape improvements in the right-of-way if used to meet Green Factor requirements (DR 30-2015).
-Planting of trees, shrubs and groundcovers within the City of Seattle's right of way must be performed during the period between October 1st and April 30th. Unless automatic irrigation is installed or an agreed upon contractual watering plan is made. Email sdot_la@seattle.gov to verify planting timelines for street trees and right of way planting.



1 TYPICAL DECIDUOUS TREE PLANTING DETAIL
NTS



2 TYPICAL GROUNDCOVER PLANTING DETAIL
NTS



3 TYPICAL SHRUB PLANTING DETAIL
NTS

Root of Design
206.441.9545
7104 265th St. NW #218
Stanwood, WA 98292

State of Washington registered Landscape Architect
Devin Peterson
Devin Peterson certificate no. 1222

PROJECT TITLE

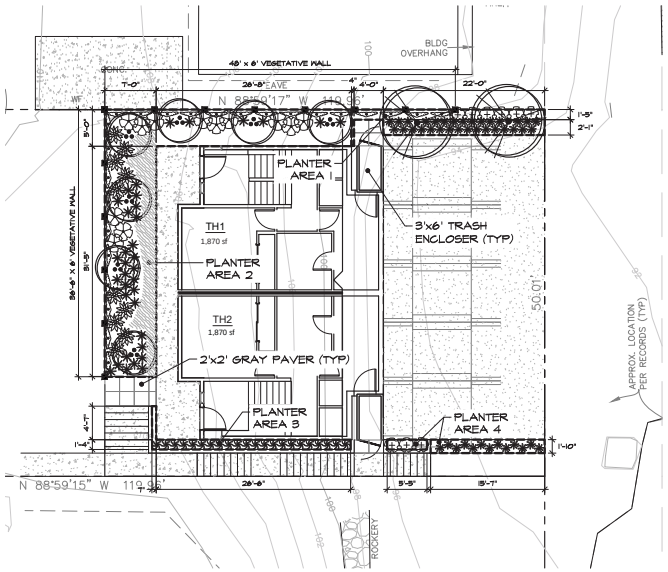
LANDSCAPE PLAN

3424 23RD AVE W SEATTLE, WA

DRAWN	DATE
EK	10.10.18
REVISED	DATE

1/8" = 1'-0"

L1



NORTH

GREEN FACTOR PLAN

0 8 16 24 feet

SCALE: 1/8" = 1'-0"

Revised 02/8/10

Green Factor Score Sheet

SEATTLE green factor

Project title

Parcel size (enter this value first): enter sq ft of parcel 1,999 — SCORE 0.403

Landscape Elements**	Totals from GF worksheet	Factor	Total
A Landscaped areas (select one of the following for each area)			
1 Landscaped areas with a soil depth of less than 24"	enter sq ft: 0	0.1	-
2 Landscaped areas with a soil depth of 24" or greater	enter sq ft: 548	0.6	328.8
3 Bioretention facility*	enter sq ft: 0	1.0	-
B Plantings (credit for plants in landscaped areas from Section A)			
1 Mulch, ground covers, or other plants less than 2' tall at maturity	enter sq ft: 548	0.1	55
2 Shrubs or perennials 2'+ at maturity - calculated at 12 sq ft per plant (typically planted no closer than 18" on center)	enter number of plants: 156	1872	0.3	562
3 Tree canopy for "small trees" or equivalent (canopy spread 8' to 15') - calculated at 75 sq ft per tree	enter number of plants: 9	675	0.3	203
4 Tree canopy for "small/medium trees" or equivalent (canopy spread 16' to 20') - calculated at 150 sq ft per tree	enter number of plants: 0	0	0.3	-
5 Tree canopy for "medium/large trees" or equivalent (canopy spread of 21' to 25') - calculated at 250 sq ft per tree	enter number of plants: 0	0	0.4	-
6 Tree canopy for "large trees" or equivalent (canopy spread of 26' to 30') - calculated at 350 sq ft per tree	enter number of plants: 0	0	0.4	-
7 Tree canopy for preservation of large existing trees with trunks 6"+ in diameter - calculated at 20 sq ft per inch diameter	enter inches DBH: 0	0	0.8	-
C Green roofs			
1 Over at least 2" and less than 4" of growth medium	enter sq ft: 0	0.4	-
2 Over at least 4" of growth medium	enter sq ft: 0	[illegible]	-
D Vegetated walls	enter sq ft: 527	0.7	354.9
E Approved water feature* **	enter sq ft: 0	0.7	-
F Permeable paving			
1 Permeable paving over at least 6" and less than 24" of soil or gravel	enter sq ft: 0	0.2	-
2 Permeable paving over at least 24" of soil or gravel	enter sq ft: 0	0.5	-
G Structural soil systems	enter sq ft: 0	0.2	-
sub-total of sq ft =	4,150		
H Bonuses			
1 Drought-tolerant or native plant species	enter sq ft: 2187	0.1	239.7
2 Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater	enter sq ft: 0	0.2	-
3 Landscaping visible to passersby from adjacent public right of way or public open spaces	enter sq ft: 642	0.1	64
4 Landscaping in food cultivation	enter sq ft: 0	0.1	-
	Green Factor numerator =		1,807

*Do not count public rights-of-way in parcel size calculation.

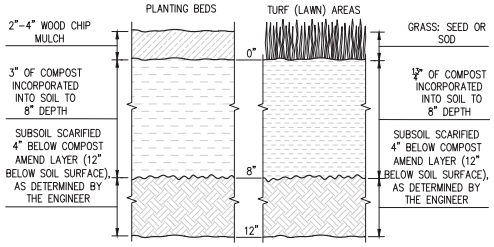
** You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public property must comply with the Landscape Standards Director's Rule (DR 6-2009)

Revised 4/8/09

Green Factor Worksheet

SEATTLE green factor

		Planting Area 1	2	3	4	TOTAL**
A1	square feet					0
A2	square feet	34	389	39	36	548
A3	square feet					0
B1	square feet	34	389	39	36	548
B2	# of plants	11	77	22	16	156
B3	# of trees	2	7			9
B4	# of trees					0
B5	# of trees					0
B6	# of trees					0
B7	# of trees					0
C1	square feet					0
C2	square feet					0
D	square feet	82.5	424.5			507
E	square feet					0
F1	square feet					0
F2	square feet					0
G	square feet					0
H1	square feet	182	1449	204	192	2187
H2	square feet					0
H3	square feet	142				642
H4	square feet					0



NOTES:

1. ALL SOIL AREAS DISTURBED OR COMPACTED DURING CONSTRUCTION, AND NOT COVERED BY BUILDINGS OR PAVEMENT, SHALL BE AMENDED WITH COMPOST AS DESCRIBED BELOW.
2. SUBSOIL SHOULD BE SCARIFIED (LOOSENED) 4 INCHES BELOW AMENDED LAYER, TO PRODUCE 12-INCH DEPTH OF UN-COMPACTED SOIL, EXCEPT WHERE SCARIFICATION WOULD DAMAGE TREE ROOTS OR AS DETERMINED BY THE ENGINEER.
3. COMPOST SHALL BE TILLED IN TO 8 INCH DEPTH INTO EXISTING SOIL, OR PLACE 8 INCHES OF COMPOST-AMENDED SOIL, PER SOIL SPECIFICATION.
4. TURF AREAS SHALL RECEIVE 1.75 INCHES OF COMPOST TILLED IN TO 8-IN DEPTH, OR MAY SUBSTITUTE 8" OF IMPORTED SOIL CONTAINING 20-25% COMPOST BY VOLUME. THEN PLANT GRASS SEED OR SOD PER SPECIFICATION.
5. PLANTING BEDS SHALL RECEIVE 3 INCHES OF COMPOST TILLED INTO 8-INCH DEPTH, OR MAY SUBSTITUTE 8" OF IMPORTED SOIL CONTAINING 35-40% COMPOST BY VOLUME. MULCH AFTER PLANTING WITH 2-4 INCHES OF ARBORIST WOOD CHIP OR APPROVED EQUAL.
6. SETBACKS: TO PREVENT UNEVEN SETTLING, DO NOT COMPOST-AMEND SOILS WITHIN 3 FEET OF UTILITY INFRASTRUCTURES (POLES, VAULTS, METERS, ETC.). WITHIN ONE FOOT OF PAVEMENT EDGE, CURBS AND SIDEWALKS SHOULD BE COMPACTED TO APPROXIMATELY 90% PROCTOR TO ENSURE A FIRM SURFACE.

1 SOIL AMENDMENT AND DEPTH

NTS

STANDARD PLAN NO 142, CITY OF SEATTLE

Root of Design
206.441.9545
7104 265th St. NW #218
Stanwood, WA 98292

State of Washington registered Landscape Architect

Steven Peterson

Steve Peterson
certificate no. 1222

PROJECT TITLE

LANDSCAPE REQUIREMENTS SUMMARY PLAN

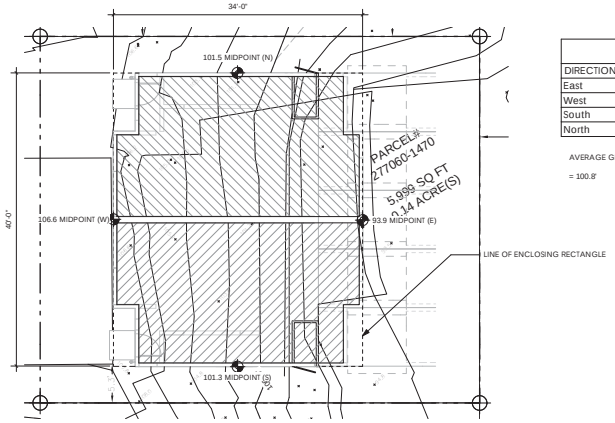
3424 23RD AVE W SEATTLE, WA

DRAWN EK DATE 10.10.18

REVISED DATE

1/8" = 1'-0"

L2



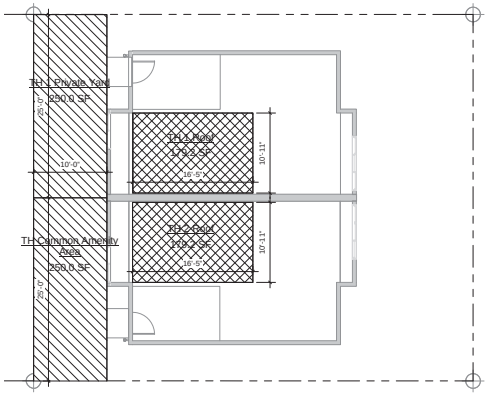
Lot B AGP Calc			
DIRECTION	AGP ELEVATION	AGP BUILDING LENGTH	PRODUCT
East	93.90	40.00	3756.00 SF
West	106.60	40.00	4264.00 SF
South	101.30	34.00	3444.20 SF
North	101.50	34.00	3451.00 SF
		148.00	14915.20 SF

AVERAGE GRADE = 14,915.2/ 148.00

= 100.8'

1 HEIGHT CALCULATION PLAN

SCALE: 1/8" = 1'-0"



LOT B REQUIRED AMENITY		
LOT AREA	REQUIRED AMENITY	REQUIRED GROUND
5,000.0 SF	750.0 SF	375.0 SF

Amenity Area Summary-TH	
Common	Area
GROUND	550.0 SF
ROOF	664.4 SF
	664.4 SF

2 AMENITY AREA DIAGRAM

SCALE: 1/8" = 1'-0"

JULIAN WEBER ARCHITECTS, LTD

1257 S King St
Seattle, WA 98144
203.953.1305

www.jwaseattle.com

9458 REGISTERED ARCHITECT JULIAN R. WEBER STATE OF WASHINGTON

MIRRA HOMES

11624 SE 5TH ST, SUITE 210
BELLEVUE, WA 98005
P 206.383.7095

3424 23rd Ave W

3424 23rd Ave W
Seattle, WA 98199

SDCI APPROVAL STAMP HERE

MUP # 3032941-LU

Date	Description
10.16.2018	MUP Submittal

HEIGHT CALC & AMENITY AREA

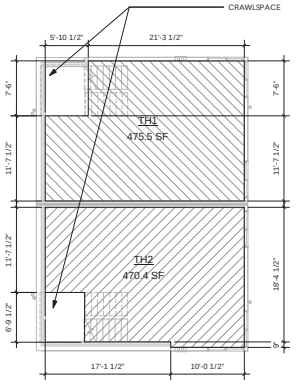
Scale 1/8" = 1'-0"

Date 10/16/2018

A-1.1

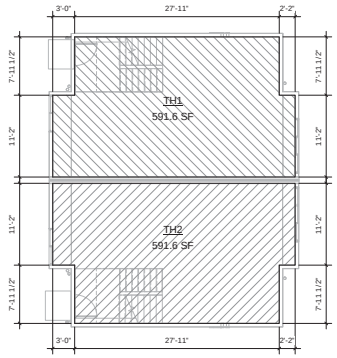
Project Number JWA#493

10/16/2018 2:35:16 PM



1 LOT B Level 1

SCALE: 1/8" = 1'-0"



2 LOT B Level 2

SCALE: 1/8" = 1'-0"

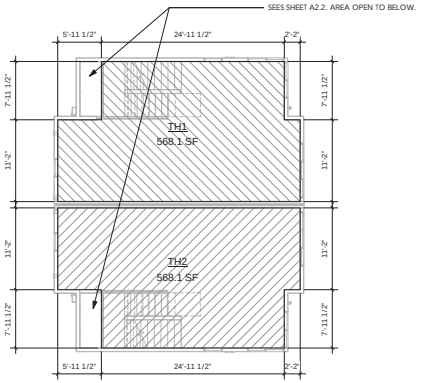
NOTE: THE GROSS FLOOR AREA DIMENSIONS PROVIDED ARE MEASURED FROM THE INTERIOR FACE OF THE STUDS FOR THE EXTERIOR WALLS

FAR AREA SUMMARY - TH1	
LEVEL	AREA
LOT B Level 1	475.5 SF
LOT B Level 2	591.6 SF
LOT B Level 3	568.1 SF
TOTAL	1,635.2 SF

FAR AREA SUMMARY - TH2	
LEVEL	AREA
LOT B Level 1	470.4 SF
LOT B Level 2	591.6 SF
LOT B Level 3	568.1 SF
TOTAL	1,630.1 SF

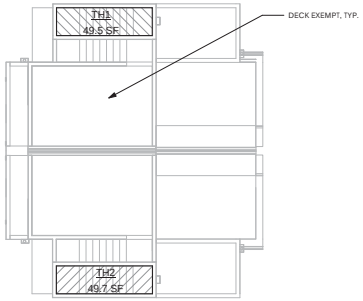
FAR AREA SUMMARY (PROPOSED) - LOT B	
TH1	1,635.2 SF
TH2	1,630.1 SF
TOTAL	3,265.2 SF

FAR AREA SUMMARY (ALLOWED) LOT B		
LOT AREA	FAR ALLOWED	FAR PROPOSED
3,000.0 SF	3,300.0 SF	3,265.2 SF



3 LOT B Level 3

SCALE: 1/8" = 1'-0"



4 LOT B Roof

SCALE: 1/8" = 1'-0"

JULIAN WEBER ARCHITECTS, LTD

1257 S King St
Seattle, WA 98144
203.953.1305

www.jwaseattle.com

9458 REGISTERED ARCHITECT
JULIAN R. WEBER
STATE OF WASHINGTON

MIRRA HOMES

11624 SE 5TH ST, SUITE 210
BELLEVUE, WA 98005
P 206.383.7095

3424 23rd Ave W

3424 23rd Ave W
Seattle, WA 98199

SDCI APPROVAL STAMP HERE

MUP # 3032941-LU

Date	Description
10.16.2018	MUP Submittal

FAR DIAGRAMS

Scale 1/8" = 1'-0"

Date 10/16/2018

A-2.0

Project Number JWA#493

10/16/2018 2:35:20 PM

FLOOR PLAN NOTES:

* ALL INTERIOR WALLS TO BE 2x4 @ 24" O.C. (U.N.O.)
* ALL EXTERIOR WALLS 2x6 PER STRUCTURAL
* HEADERS PER STRUCTURAL
* WINDOW SIZES ARE NOMINAL ROUGH OPENING, WIDTH AND HEIGHT.
* PROVIDE FIREBLOCKING AT ALL PLUMBING OPENINGS.
* PROVIDE SOLID BLOCKING OVER SUPPORTS.
* IN SEISMIC ZONES D0, D1 & D2, WATER HEATERS SHALL BE ANCHORED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER ONE-THIRD AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSIONS PER SRC R802.11
* PROVIDE OUTDOOR COMBUSTION AIR FOR FURNACE AND WATER HEATER PER SRC G2407.6.

SMOKE DETECTORS (SD)

SRC R314.3 SMOKE ALARMS

SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
1. IN EACH SLEEPING ROOM
2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS, BUT NOT INCLUDING CRAWLSPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER FLOOR SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.

SMOKE DETECTORS TO BE HARDWIRED, INTERCONNECTED, WITH BATTERY BACKUP PER SRC R314.4.

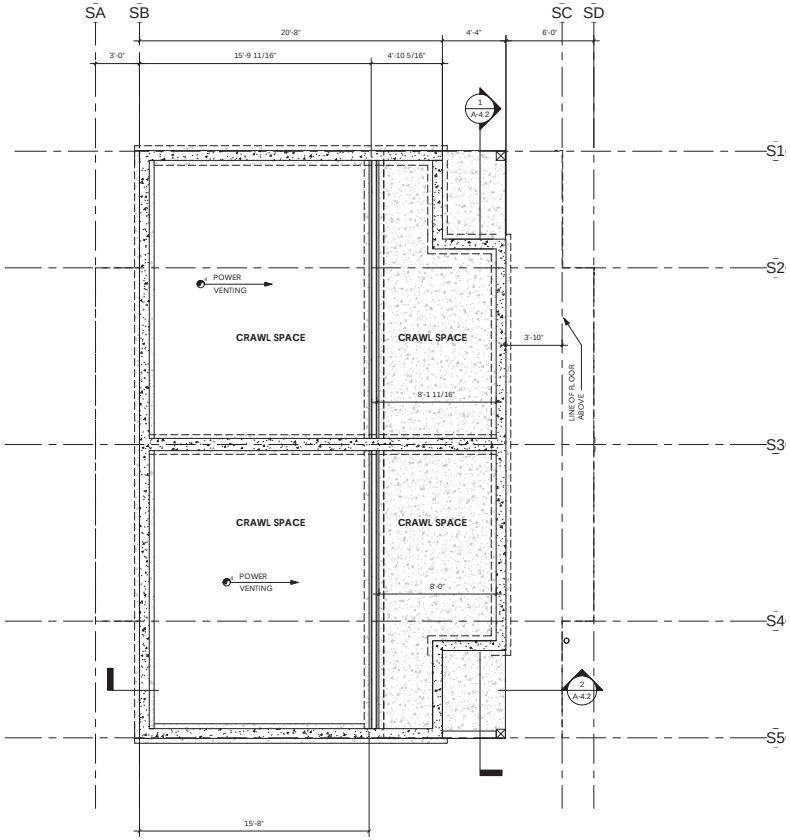
CARBON MONOXIDE DETECTORS (CO)

SRC R315.1 CARBON MONOXIDE ALARMS.

FOR NEW CONSTRUCTION, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATELY VICINITY OF THE BEDROOMS IN DWELLING UNITS AND ON EACH LEVEL OF THE DWELLING AND IN ACCORDANCE WITH THE MANUFACTURERS DIRECTIONS.

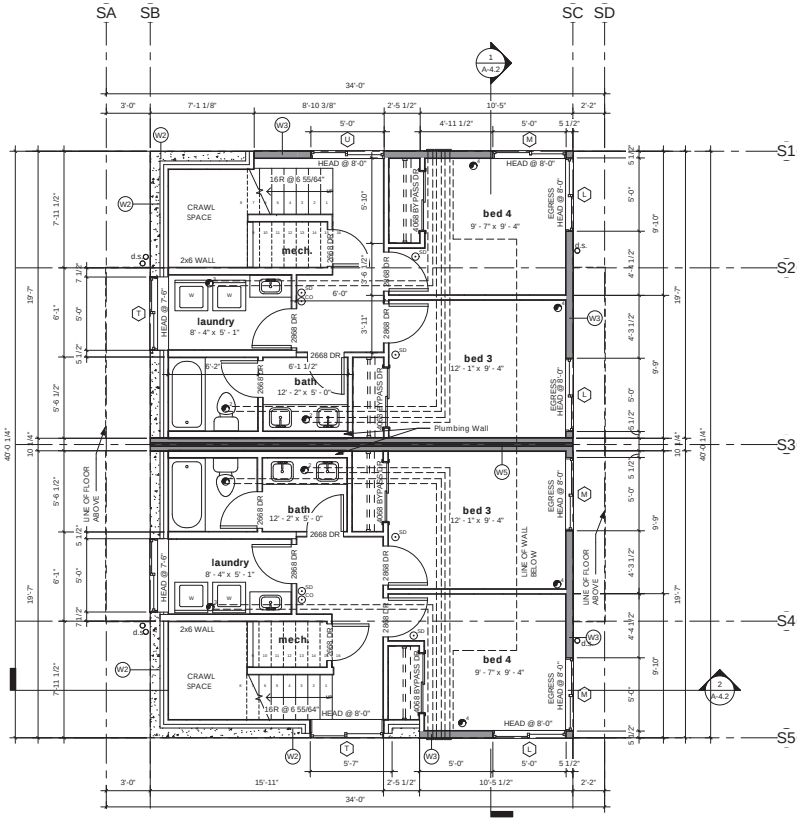
Area Summary TH1		
Level	Name	Area
LOT B Level 1	TH1	580.7 SF
LOT B Level 2	TH1	642.3 SF
LOT B Level 3	TH1	647.6 SF
		1,870.6 SF

Area Summary TH2		
Level	Name	Area
LOT B Level 1	TH2	583.1 SF
LOT B Level 2	TH2	642.3 SF
LOT B Level 3	TH2	644.1 SF
		1,869.6 SF



1 LOT B Foundation

SCALE: 1/4" = 1'-0"



2 LOT B Level 1

SCALE: 1/4" = 1'-0"

JULIAN WEBER ARCHITECTS, LTD

1257 S King St
Seattle, WA 98144
203.953.1305

www.jwaseattle.com

9458 REGISTERED ARCHITECT
JULIAN R. WEBER
STATE OF WASHINGTON

MIRRA HOMES

11624 SE 5TH ST, SUITE 210
BELLEVUE, WA 98005
P 206.383.7095

3424 23rd Ave W

3424 23rd Ave W
Seattle, WA 98199

SDCI APPROVAL STAMP HERE

MUP # 3032941-LU

Date	Description
10.16.2018	MUP Submittal

FLOOR PLANS

Scale 1/4" = 1'-0"
Date 10/16/2018

A-2.1

Project Number JWA#493

10/16/2018 2:35:20 PM

FLOOR PLAN NOTES:

* ALL INTERIOR WALLS TO BE 2x4 @ 24" O.C. (U.N.O.)
* ALL EXTERIOR WALLS 2x6 PER STRUCTURAL
* HEADERS PER STRUCTURAL
* WINDOW SIZES ARE NOMINAL ROUGH OPENING, WIDTH AND HEIGHT.
* PROVIDE FIREBLOCKING AT ALL PLUMBING OPENINGS.
* PROVIDE SOLID BLOCKING OVER SUPPORTS.
* IN SEISMIC ZONES D0, D1 & D2, WATER HEATERS SHALL BE ANCHORED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER ONE-THIRD AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSIONS PER SRC R802.11
* PROVIDE OUTDOOR COMBUSTION AIR FOR FURNACE AND WATER HEATER PER SRC G2407.6.

SMOKE DETECTORS (SD)

SRC R314.3 SMOKE ALARMS

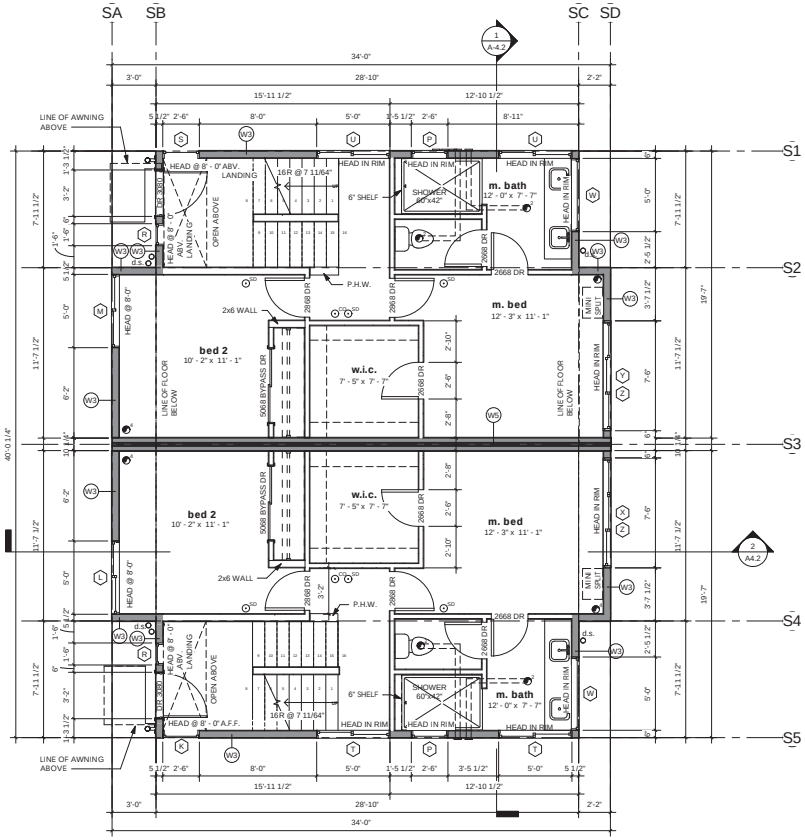
SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
1. IN EACH SLEEPING ROOM
2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS, BUT NOT INCLUDING CRAWLSPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER FLOOR SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.

SMOKE DETECTORS TO BE HARDWIRED, INTERCONNECTED, WITH BATTERY BACKUP PER SRC R314.4.

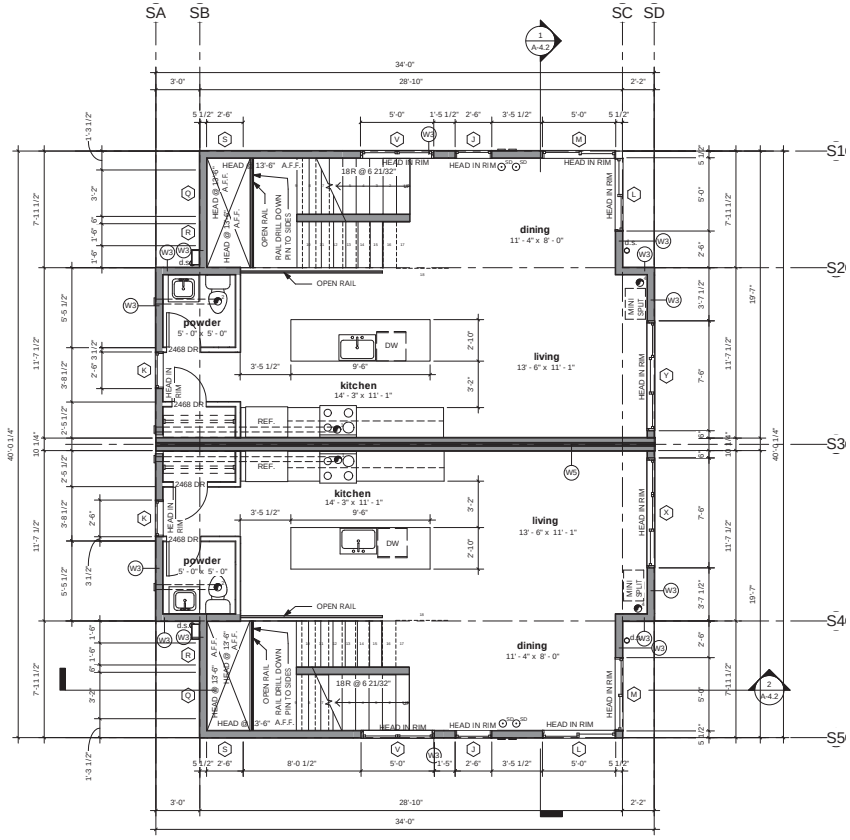
CARBON MONOXIDE DETECTORS (CO)

SRC R315.1 CARBON MONOXIDE ALARMS.

FOR NEW CONSTRUCTION, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATELY VICINITY OF THE BEDROOMS IN DWELLING UNITS AND ON EACH LEVEL OF THE DWELLING AND IN ACCORDANCE WITH THE MANUFACTURERS DIRECTIONS.



1 **LOT B Level 2**
SCALE: 1/4" = 1'-0"



2 **LOT B Level 3**
SCALE: 1/4" = 1'-0"

N

JULIAN WEBER ARCHITECTS, LTD

1257 S King St
Seattle, WA 98144
203.953.1305

www.jwaseattle.com

9458 REGISTERED ARCHITECT
JULIAN R. WEBER
STATE OF WASHINGTON

MIRRA HOMES

11624 SE 5TH ST, SUITE 210
BELLEVUE, WA 98005
P 206.383.7095

3424 23rd Ave W

3424 23rd Ave W
Seattle, WA 98199

SDCI APPROVAL STAMP HERE

MUP # 3032941-LU

Date	Description
10.16.2018	MUP Submittal

FLOOR PLANS

Scale 1/4" = 1'-0"
Date 10/16/2018

A-2.2

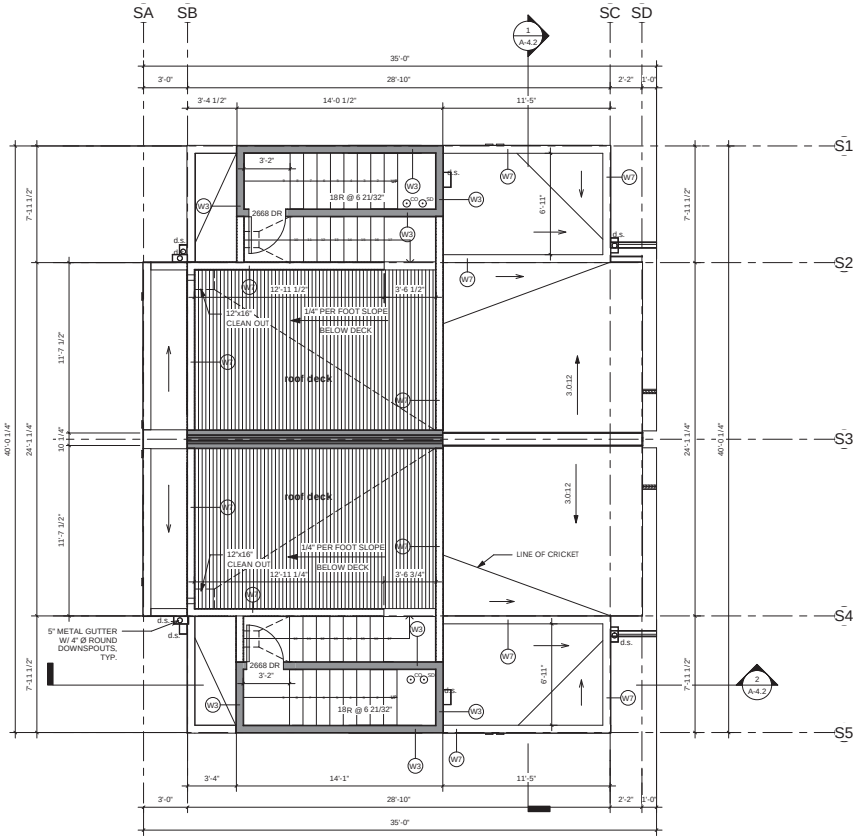
Project Number JWA#493

10/16/2018 2:35:22 PM

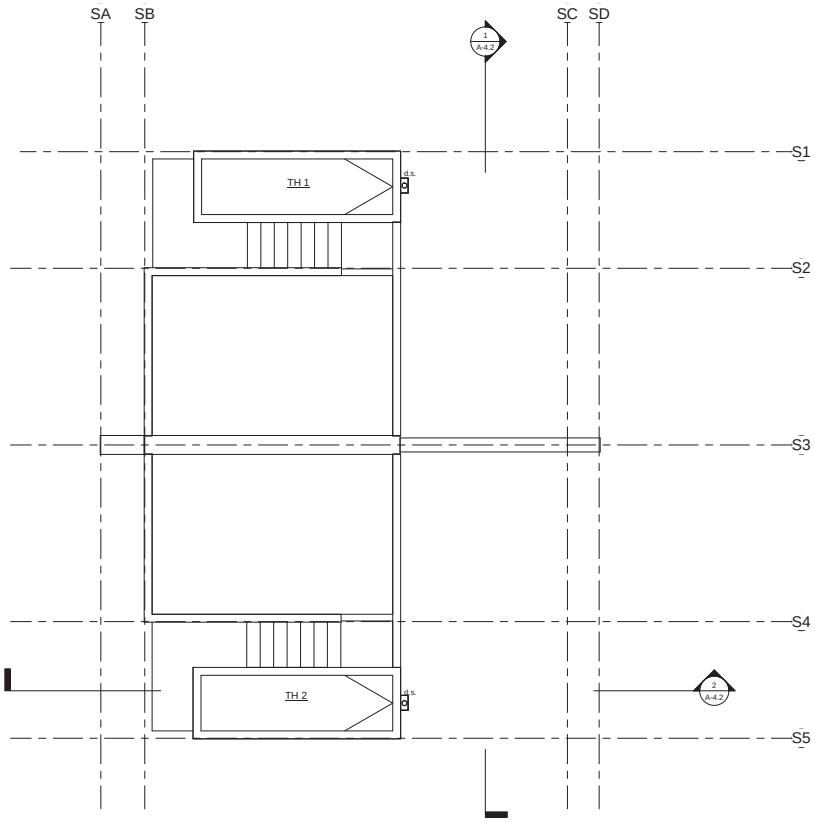
PENTHOUSE AREA CALCULATION SUMMARY LOT B	
TOTAL ROOF AREA	ALLOWED AREA PER SMC 23.42.514
1,281.5 SF	192.2 SF

PENTHOUSE AREA LOT B (PROPOSED)	
Name	Area
TH 2	67.0 SF
TH 1	67.0 SF
TOTAL	134.0 SF

ROOF DECK VENTILATION
UNVENTED ASSEMBLY TO COMPLY WITH SRC R 806.5



1 **LOT B Roof**
SCALE: 1/4" = 1'-0"



2 **LOT B T.O. Penthouse Roof**
SCALE: 1/4" = 1'-0"

JULIAN WEBER ARCHITECTS, LTD

1257 S King St
Seattle, WA 98144
203.953.1305

www.jwaseattle.com

9458 REGISTERED ARCHITECT
JULIAN R. WEBER
STATE OF WASHINGTON

MIRRA HOMES

11624 SE 5TH ST, SUITE 210
BELLEVUE, WA 98005
P 206.383.7095

3424 23rd Ave W

3424 23rd Ave W
Seattle, WA 98199

SDCI APPROVAL STAMP HERE

MUP # 3032941-LU

Date	Description
10.16.2018	MUP Submittal

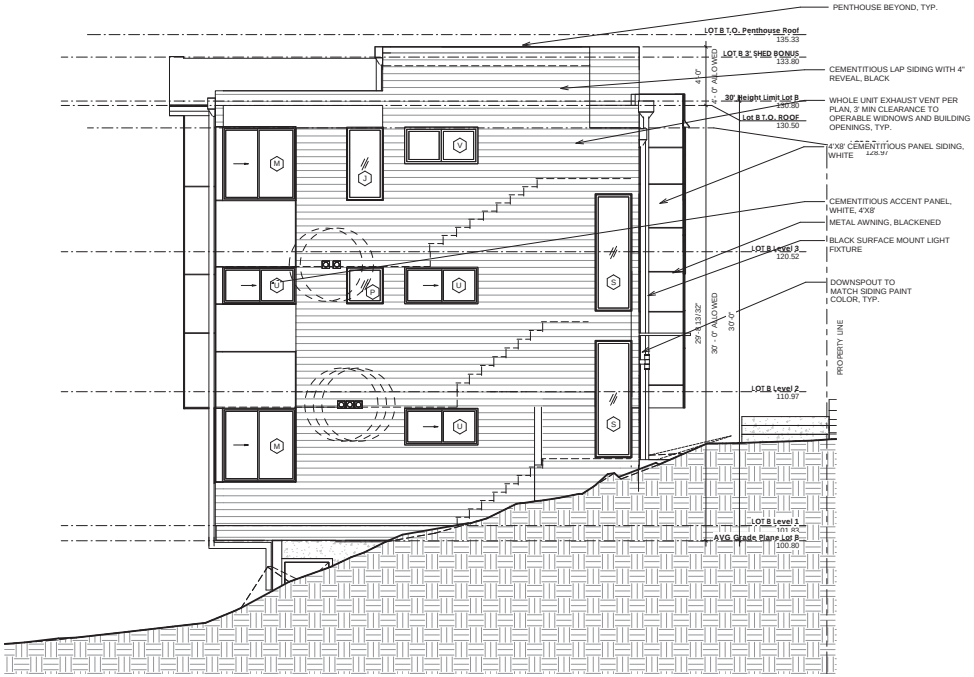
FLOOR PLANS

Scale 1/4" = 1'-0"
Date 10/16/2018

A-2.3

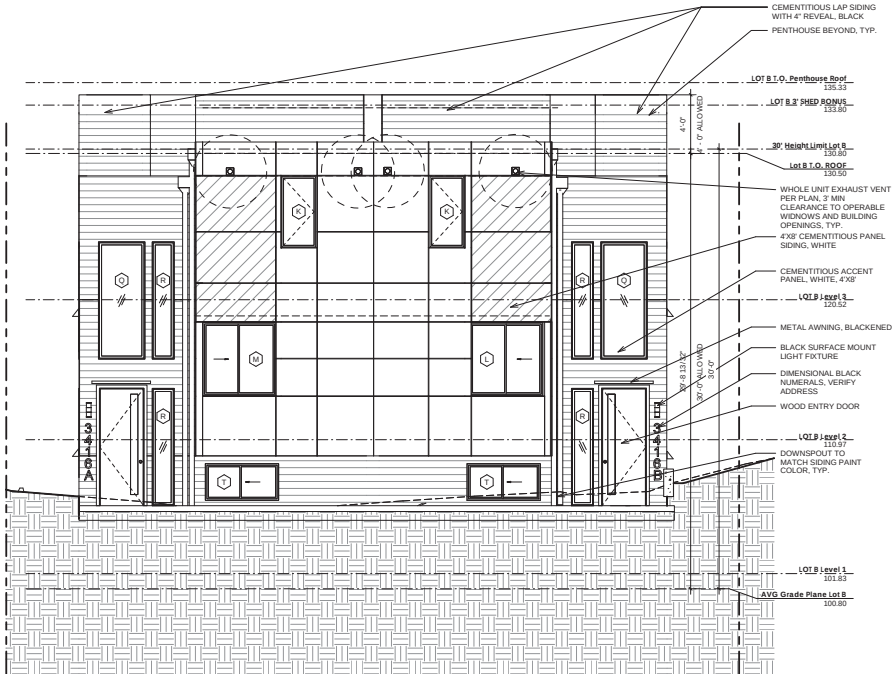
Project Number JWA#493

10/16/2018 2:35:22 PM



2 Lot B_North Elevation

SCALE: 1/4" = 1'-0"



1 Lot B_West Elevation

SCALE: 1/4" = 1'-0"

JULIAN WEBER ARCHITECTS, LTD

1257 S King St
Seattle, WA 98144
203.953.1305

www.jwaseattle.com

9458 REGISTERED ARCHITECT JULIAN R. WEBER STATE OF WASHINGTON

MIRRA HOMES

11624 SE 5TH ST, SUITE 210
BELLEVUE, WA 98005
P 206.383.7095

3424 23rd Ave W

3424 23rd Ave W
Seattle, WA 98199

SDCI APPROVAL STAMP HERE

MUP # 3032941-LU

Date	Description
10.16.2018	MUP Submittal

ELEVATIONS

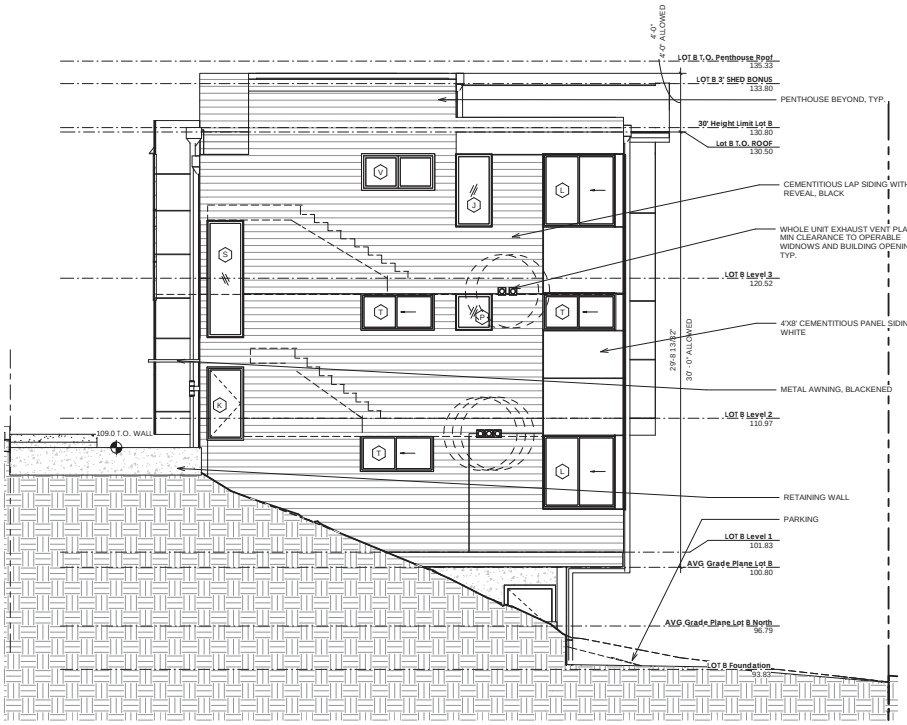
Scale 1/4" = 1'-0"

Date 10/16/2018

A-3.1

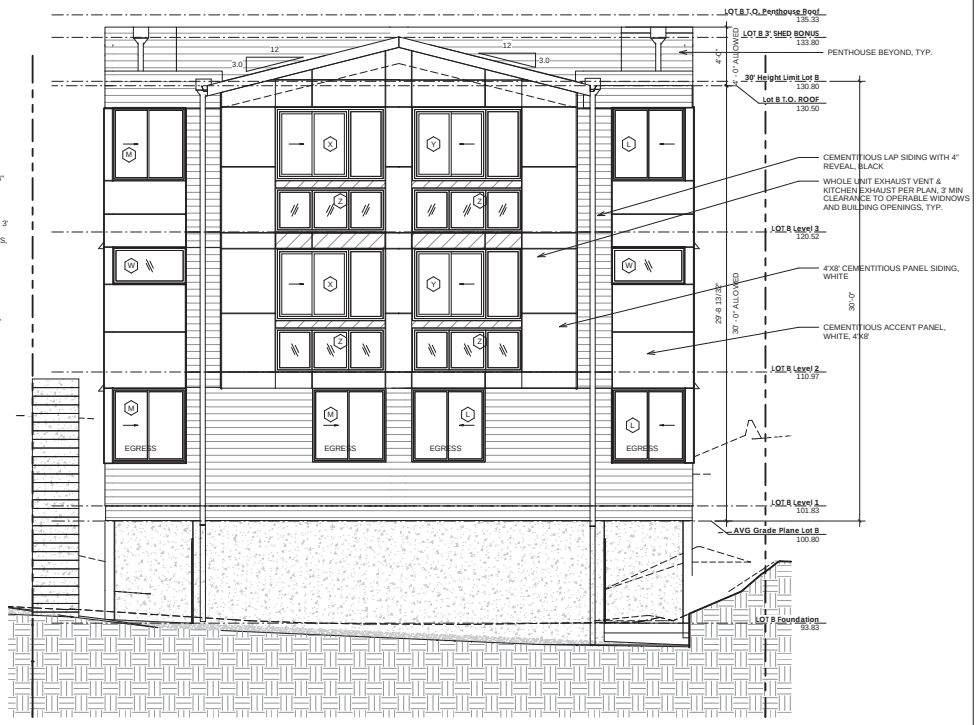
Project Number JWA#493

10/16/2018 2:35:24 PM



1 Lot B_South Elevation

SCALE: 1/4" = 1'-0"



2 Lot B_East Elevation

SCALE: 1/4" = 1'-0"

JULIAN WEBER ARCHITECTS, LTD

1257 S King St
Seattle, WA 98144
203.953.1305

www.jwaseattle.com

9458 REGISTERED ARCHITECT JULIAN R. WEBER STATE OF WASHINGTON

MIRRA HOMES

11624 SE 5TH ST, SUITE 210
BELLEVUE, WA 98005
P 206.383.7095

3424 23rd Ave W

3424 23rd Ave W
Seattle, WA 98199

SDCI APPROVAL STAMP HERE

MUP # 3032941-LU

Date	Description
10.16.2018	MUP Submittal

ELEVATIONS

Scale 1/4" = 1'-0"

Date 10/16/2018

A-3.2

Project Number JWA#493

10/16/2018 2:35:26 PM