



1 VICINITY MAP LOT A

ARCHITECTURAL NOTES:

(THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE PLANS)

1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL RESIDENTIAL CODE (2015 EDITION) WITH SEATTLE AMENDMENTS.

2. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED.

3. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.

4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE WORK.

5. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION, WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT/DESIGNER.

6. ALL WOOD PLATES, IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE. PROVIDE 2 LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER BETWEEN UNTREATED LEDGERS, BLOCKING, ETC., AND CONCRETE OR MASONRY.

7. PRESSURE TREATED LUMBER: ALL FASTENERS AND CONNECTORS THAT ARE IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED WITH A MINIMUM COATING OF G90 (.90oz/sf) PER ASTM A123 AND/OR ASTM A153. 304 OR 316 STAINLESS STEEL MAY BE SUBSTITUTED IN LIEU OF GALVANIZED PRODUCTS. NO STAINLESS STEEL PRODUCTS SHALL COME IN CONTACT WITH GALVANIZED PRODUCTS.

8. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO WASHINGTON STATE ENERGY CODE (2015 EDITION) WITH SEATTLE AMENDMENTS.

- * ALL INTERIOR WALLS TO BE 2x4 @ 24" O.C. (U.N.O.)
- * ALL EXTERIOR WALLS 2x6 PER STRUCTURAL
- * HEADERS PER STRUCTURAL
- * WINDOW SIZES ARE NOMINAL ROUGH OPENING, WIDTH AND HEIGHT.
- * PROVIDE FIREBLOCKING AT ALL PLUMBING OPENINGS.
- * PROVIDE SOLID BLOCKING OVER SUPPORTS.
- * IN SEISMIC ZONES DO, D1 & D2, WATER HEATERS SHALL BE ANCHORED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER ONE-THIRD AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSIONS PER SRC R602.11.
- * PROVIDE OUTDOOR COMBUSTION AIR FOR FURNACE AND WATER HEATER PER SRC G2407.6.

"CONSTRUCTION EROSION CONTROL MEASURES MUST BE IN PLACE AND APPROVED BY SDCI PRIOR TO ANY EARTH DISTURBANCE. CALL 684-8860 TO SCHEDULE AN INSPECTION APPOINTMENT"

NO SEDIMENT SHALL BE TRACKED INTO THE STREET OR ONTO PAVED SURFACES. SEDIMENT SHALL BE REMOVED FROM TRUCKS AND EQUIPMENT PRIOR TO LEAVING THE SITE. IN THE EVENT OF FAILURE OF EROSION CONTROL SYSTEM RESULTING IN SEDIMENT BEING TRACKED ONTO PAVED SURFACES, THE CONTRACTOR SHALL IMMEDIATELY IMPLEMENT MEASURES TO CORRECT THE SITUATION, AND STREET SWEEPING SHALL BE EMPLOYED ON AN EMERGENCY BASIS. IF STREET SWEEPING VEHICLES ARE UTILIZED, THEY SHALL BE OF THE TYPE THAT ACTUALLY REMOVES SEDIMENT FROM THE PAVEMENT.

SMC 23.45.534 LIGHT AND GLARE STANDARDS
A. EXTERIOR LIGHTING SHALL BE SHIELDED AND DIRECTED AWAY FROM ADJACENT PROPERTIES.

LOT A SHEET LIST	
Sheet Number	Sheet Name
GENERAL	
A01	NOTES PROJECT DATA VICINITY MAP
A1.0	SITE PLAN
SURVEY	
V1	TOPOGRAPHIC SURVEY
V2	SHORT SUBDIVISION
V3	SHORT SUBDIVISION
V4	SHORT SUBDIVISION
V5	SHORT SUBDIVISION
V6	SHORT SUBDIVISION
LANDSCAPE	
L1	LANDSCAPE PLAN
L2	LANDSCAPE REQUIREMENTS
ARCHITECTURAL	
A1.1	HEIGHT CALC & AMENITY AREA
A1.2	DESIGN STANDARDS
A2.0	FAIR DIAGRAMS
A2.1	FLOOR PLANS
A2.2	FLOOR PLANS
A2.3	FLOOR PLANS
A3.1	ELEVATIONS
A3.2	ELEVATIONS
A4.0	GLAZING SCHEDULE & WSEC NOTES
A4.2	BUILDING SECTIONS

APPEAL ATTACHMENT 'O'

3422 23rd Ave W

3422 23rd Ave W, Seattle WA 98199

PROJECT INFORMATION

SCDI PROJECT # :
BP # 6887292 MUP # 3032878

PROJECT DESCRIPTION:

SEPA REVIEW, DEMO TRIPLEX, CONSTRUCT (3) ROWHOUSES WITH (2) OPEN PARKING STALLS, FUTURE UNIT LOT SUBDIVISION, FUNCTIONALLY RELATED TO #3032941-LU, PARKING LOCATED ON 3424 23RD AVE WEST

LEGAL DESCRIPTION:

THE WEST 60.00 FEET OF LOT 8, BLOCK 11 GILMAN'S ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT RECORDED IN VOLUME 5 OF PLATS, PAGE 93, IN KING COUNTY, WASHINGTON;

TOGETHER WITH AND SUBJECT TO EASEMENT NUMBER 2, SHOWN AND DESCRIBED HEREON;

TOGETHER WITH EASEMENTS NUMBERED 1 AND 3, SHOWN AND DESCRIBED HEREON.

AKA PARCEL A OF SHORT SUBDIVISION NO. 3032857-LU

TAX # :
#277060-1470

PROJECT TEAM

OWNER / APPLICANT :
MIRRA HOMES
11624 SE 5TH ST, SUITE 210
BELLEVUE, WA 98005
P 206.383.7095

STRUCTURAL ENGINEER :
MARC MALSAM, PE, SE
122 S JACKSON ST, SUITE 210
SEATTLE, WA 98104
P 206.498.2674
MarchM@malsam-tsang.com

ARCHITECT/PROJECT CONTACT:
JULIAN WEBER ARCHITECTS, LTD
1257 S KING ST
SEATTLE, WA 98144
P 206.953.1305
dpd@jwaseattle.com

PROJECT DATA

ZONE: LR1

URBAN VILLAGE: NO

LOT AREA: 3,000 SF

FLOOR AREA BASIS:

(CALCULATED TO INSIDE FACE OF WALL STRUCTURE)

SEE SHEET A2.0 FOR DIAGRAM

FAIR AREA SUMMARY (ALLOWED) LOTA			
LOT AREA	FAIR ALLOWED (LR)	FAIR PERMITTED	FAIR EXIST
3000.0	3000.0	3000.0	3000.0

PARKING: 1 PARKING STALL PER UNIT REQUIRED, (3) OPEN PARKING STALLS PROVIDED

DENSITY LIMIT PER SMC 23.45.512:

3,000 SF X UNLIMITED

SETBACKS PER SMC 23.45.518:

	REQUIRED:	ACTUAL:
SIDE NORTH	3.5' SIDE SETBACK	5.0'
SIDE SOUTH	3.5' SIDE SETBACK	5.0'
REAR EAST	7.0' AVERAGE, 5.0' MINIMUM REAR SETBACK (NO ALLEY)	10.0' MIN.
FRONT WEST	5.0' FRONT SETBACK	7'-9"

STRUCTURE HEIGHT LIMIT PER SMC 23.45.514:

30' TOP OF ROOF, 4' PARAPET, 10' PENHOUSE BONUS
(SEE SHEET A1.1 FOR HEIGHT CALCULATION)

STRUCTURE FACADE LENGTH - 15' OF PROPERTY LINE PER SMC 23.45.527:

(65% PROPERTY LENGTH)

NORTH: 60.0' X .45= 39.0' ALLOWED FACADE LENGTH. 32.5' PROVIDED

SOUTH: 60.0' X .45= 39.0' ALLOWED FACADE LENGTH. 32.5' PROVIDED

AMENITY AREA PER SMC 23.45.522:

25% LOT AREA REQUIRED, 50% REQUIRED GROUND RELATED
(SEE SHEET A1.1 FOR AMENITY AREA DIAGRAM)

LOT A REQUIRED AMENITY		
LOT AREA	REQUIRED AMENITY	REQUIRED GROUND
3000.0	750.0	750.0

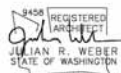
Amenity Area Summary- RH	
Component	Area
ROOF	100.0
POOP	100.0
TOTAL	200.0



JULIAN WEBER ARCHITECTS, LTD.

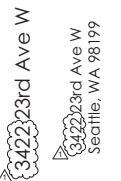
1257 S King St
Seattle, WA 98144
206.953.1305

www.jwaseattle.com



MIRRA HOMES

11624 SE 5TH ST, SUITE 210
BELLEVUE, WA 98005
P 206.383.7095



SDCI
APPROVAL
STAMP HERE

BP # 6887292

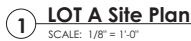
No.	Date	Description
10.14.2018		MUP SUBMITTAL
11.07.2018		BP SUBMITTAL
05.09.2019		MUP CORRECTIONS 1

NOTES
PROJECT
DATA
VICINITY MAP

Scale As Indicated
Date 10/14/2018

A0.0

Project Number JWA493

[illegible]

CITY OF SEATTLE
SHORT SUBDIVISION NO. 3032857-LU

MIRRA 111, LLC SHORT PLAT

RECORDING NO.

VOL./PAGE

GRANTOR: MIRRA 111, LLC
11624 SE 5TH ST, SUITE 210
BELLEVUE, WA 98005

CONTACT PERSON: ANDY McANDREWS
TERRANE, INC
10801 MAIN STREET, SUITE 102
BELLEVUE, WA 98004
(425) 458-4488
AndyM@Terrane.net

GRANTEE: CITY OF SEATTLE
KING COUNTY, WA

8 11 GILMAN'S ADD. 5/93
LOT(S) BLOCK SUBDIVISION VOL./PG

TAX PARCEL NO. 277060-1470

ADDRESS: 3422 23rd Ave W
SEATTLE, WA 98199

REFERENCE NO. FOR RELATED PROJECTS: 6688960-CN

APPROVAL:

CITY OF SEATTLE
SEATTLE DEPARTMENT OF CONSTRUCTION AND INSPECTIONS (SDCI)
NATHAN TORGELSON, DIRECTOR

EXAMINED AND APPROVED THIS _____ DAY OF _____ 20__

BY: _____ DIRECTOR, SEATTLE DEPARTMENT OF CONSTRUCTION AND INSPECTIONS

NOTE: APPROVAL OF THIS SHORT SUBDIVISION BY THE DIRECTOR OF THE SEATTLE DEPARTMENT OF CONSTRUCTION AND INSPECTIONS UNDER CHAPTER 23.24 OF THE SEATTLE MUNICIPAL CODE, AS AMENDED, IS NOT TO BE CONSTRUED AS SATISFACTION OF ANY OTHER APPLICABLE LEGISLATION OR REGULATIONS.

KING COUNTY DEPT. OF ASSESSMENTS:

EXAMINED AND APPROVED THIS _____ DAY OF _____ 20__

ASSESSOR: _____

ORIGINAL LEGAL DESCRIPTION:

PARCEL NO. 277060-1470
LOT 8, BLOCK 11 GILMAN'S ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT
RECORDED IN VOLUME 5 OF PLATS, PAGE 93, IN KING COUNTY, WASHINGTON.

SURVEYOR'S NOTES:

- 1) ORIGINAL PROPERTY AREA 5,999 SQ. FT.
- 2) ZONED LR1 PER CITY OF SEATTLE.
- 3) PROPOSED 2 LOT SHORT PLAT.
- 4) SEWER AND WATER UTILITY FROM PUBLIC SERVICE.
- 5) THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN JUNE OF 2018. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST.
- 6) THE FOUND MONUMENTS WERE FIELD VISITED ON JUNE 22, 2018.

CONDITIONS OF APPROVAL:

1. ALL FACILITIES, BUILDINGS OR PORTIONS OF BUILDINGS HEREFTER CONSTRUCTED OR MOVED ONTO ANY OF THESE PROPOSED PARCELS MUST COMPLY WITH THE THEN CURRENT SEATTLE FIRE CODE CHAPTER 5 AND REFERENCED APPENDICES, DEPENDING ON LOCATION OF FUTURE STRUCTURES ON THE LOTS. THESE PROVISIONS MAY REQUIRE APPROVED FIRE DEPARTMENT VEHICLE ACCESS ROADS, TURNAROUNDS, WATER SUPPLIES FOR FIRE PROTECTION, AND OTHER POSSIBLE FIRE PROTECTION RELATED ITEMS PRIOR TO APPROVAL OF BUILDING PERMIT.
2. THE SUBDIVISION OF THE PROPERTY WILL NOT REDUCE THE REQUIREMENTS OF THE CITY OF SEATTLE STORMWATER CODE AND THE CITY OF SEATTLE SIDE SEWER CODE. FOR THE PURPOSES OF ENSURING COMPLIANCE WITH THE INTENT OF THE CITY OF SEATTLE STORMWATER CODE AND THE CITY OF SEATTLE SIDE SEWER CODE, THE PROPOSED PARCELS WITHIN THIS SHORT PLAT WILL MEET THE STANDARDS REQUIRED BY THE HIGHER AREA THRESHOLD OF THE ENTIRE PROPERTY BEING SUBDIVIDED, RATHER THAN THE STANDARDS REQUIRED FOR EACH OF THE PROPOSED PARCELS INDIVIDUALLY.

DECLARATION:

WE THE UNDERSIGNED, OWNER (S) IN FEE SIMPLE OF THE LAND HEREIN DESCRIBED DO HEREBY MAKE A SHORT SUBDIVISION THEREOF PURSUANT TO RCW 58.17.060 AND DECLARE THIS SHORT SUBDIVISION TO BE THE GRAPHIC REPRESENTATION OF SAME, AND THAT SAID SHORT SUBDIVISION IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE OWNER(S). IN WITNESS WHEREOF WE HAVE SET OUR HANDS AND SEALS.

MIRRA 111, LLC ITS. DATE

ACKNOWLEDGMENT:

STATE OF WASHINGTON)
)SS
COUNTY OF KING)

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT _____ THE _____ OF
MIRRA 111, LLC IS THE PERSON WHO APPEARED BEFORE ME, AND SAID PERSON ACKNOWLEDGED THAT THEY SIGNED THIS
INSTRUMENT, AND ACKNOWLEDGED IT AS THEIR FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES MENTIONED IN THE
INSTRUMENT.

GIVEN UNDER MY HAND AND OFFICIAL SEAL
THIS ____ DAY OF _____ 20__

NOTARY PUBLIC IN AND FOR THE STATE
RESIDING AT: _____
MY COMMISSION EXPIRES: _____
PRINT NAME: _____

RECORDER'S CERTIFICATE

FILED FOR RECORD THIS _____ DAY OF _____, 20__, AT _____ M.
IN BOOK _____ OF SURVEYS. AT PAGE _____, AT THE REQUEST
OF TERRANE, INC.

MANAGER SUPT. OF RECORDS

SURVEYOR'S CERTIFICATE

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION
IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT AT
THE REQUEST OF MIRRA 111, LLC.

SEAN A. ROULETTE-MILLER CERTIFICATE NO. 51800 DATE

REFERENCES

R1. SHORT SUBDIVISION NO. 3016065, REC. NO. 20140313900005
RECORD OF SURVEY, VOL. 307, PG.(S) 264-266.
RECORDS OF KING COUNTY, WASHINGTON.

Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net



CITY OF SEATTLE SHORT SUBDIVISION
NW 1/4, SE 1/4, SEC. 14, T. 25N., R. 03E., W.M.
MIRRA 111, LLC
PARCEL NO. 277060-1470
3422 23rd Ave W
SEATTLE WA

JOB NO.: 181111

DATE: 1/14/19

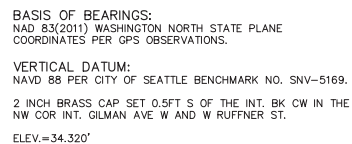
DRAFTED BY: JJK

CHECKED BY: SRM

SCALE: N. T. S.

1 OF 5

SURVEY CONTROL



Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net



CITY OF SEATTLE SHORT SUBDIVISION
NW 1/4, SE 1/4, SEC. 14, T. 25N., R. 03E., W.M.
MIRRA 111, LLC
PARCEL NO. 277060-1470
3422 23rd Ave W
SEATTLE

JOB NO.: 181111

DATE: 1/14/19

DRAFTED BY: JJK

CHECKED BY: SRM

SCALE: N. T. S.

2 OF 5

CITY OF SEATTLE
SHORT SUBDIVISION NO. 3032857-LU

SURVEY NOTE:

ORIGINAL SITE SURVEY WAS COMPLETED IN JUNE OF 2018, NO ADDITIONAL FIELDWORK WAS PERFORMED IN PREPARATION OF THIS SHORT SUBDIVISION.

TOPOGRAPHIC SURVEY

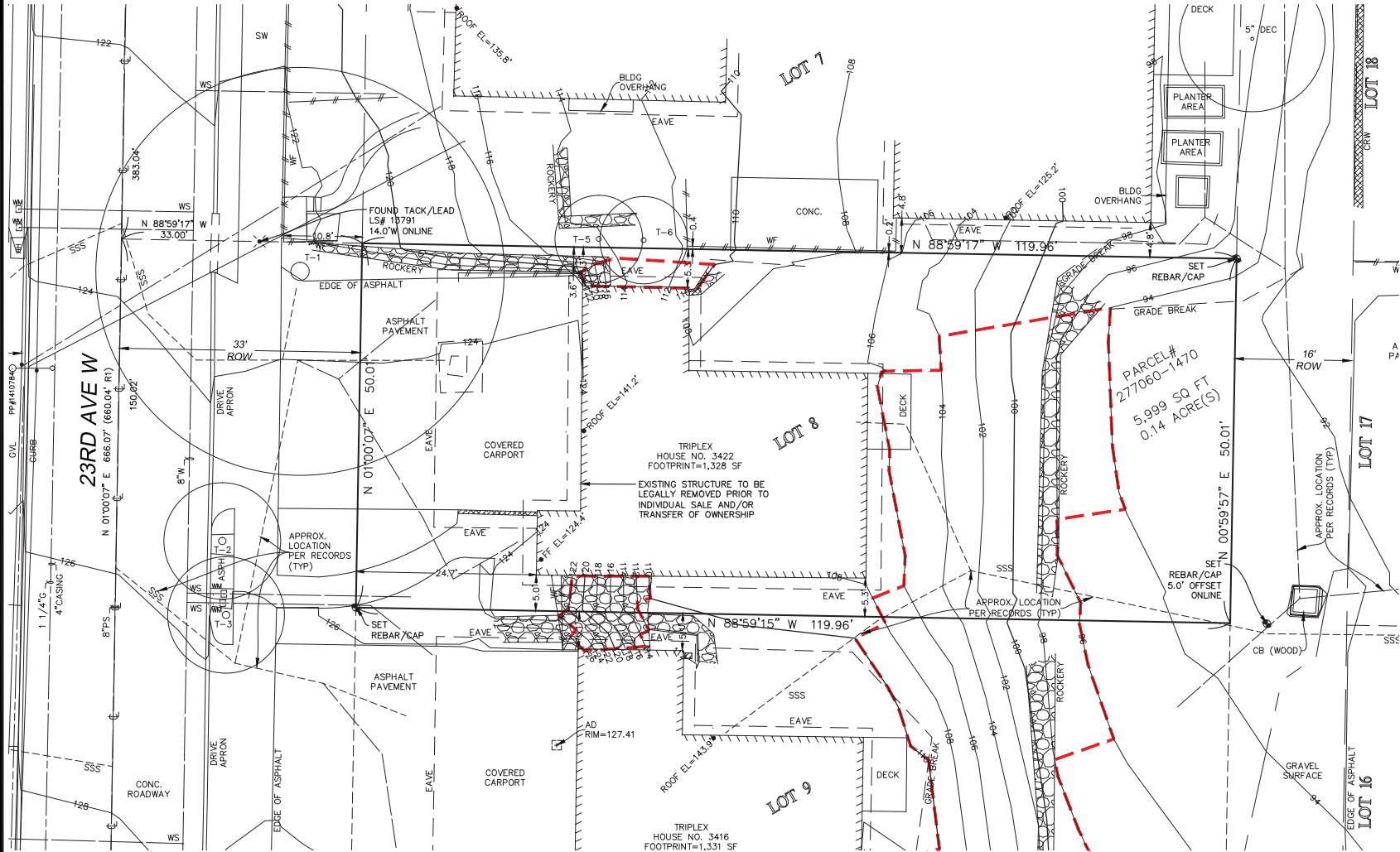
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www.terrane.net



WA

CITY OF SEATTLE SHORT SUBDIVISION
NW 1/4, SE 1/4, SEC. 14, T. 25N., R. 03E., W.M.
MIRRA 111, LLC
PARCEL NO. 277060-1470
3422 23rd Ave W
SEATTLE

JOB NO.: 181111
DATE: 1/14/19
DRAFTED BY: JJK
CHECKED BY: SRM
SCALE: 1" = 10'
3 OF 5



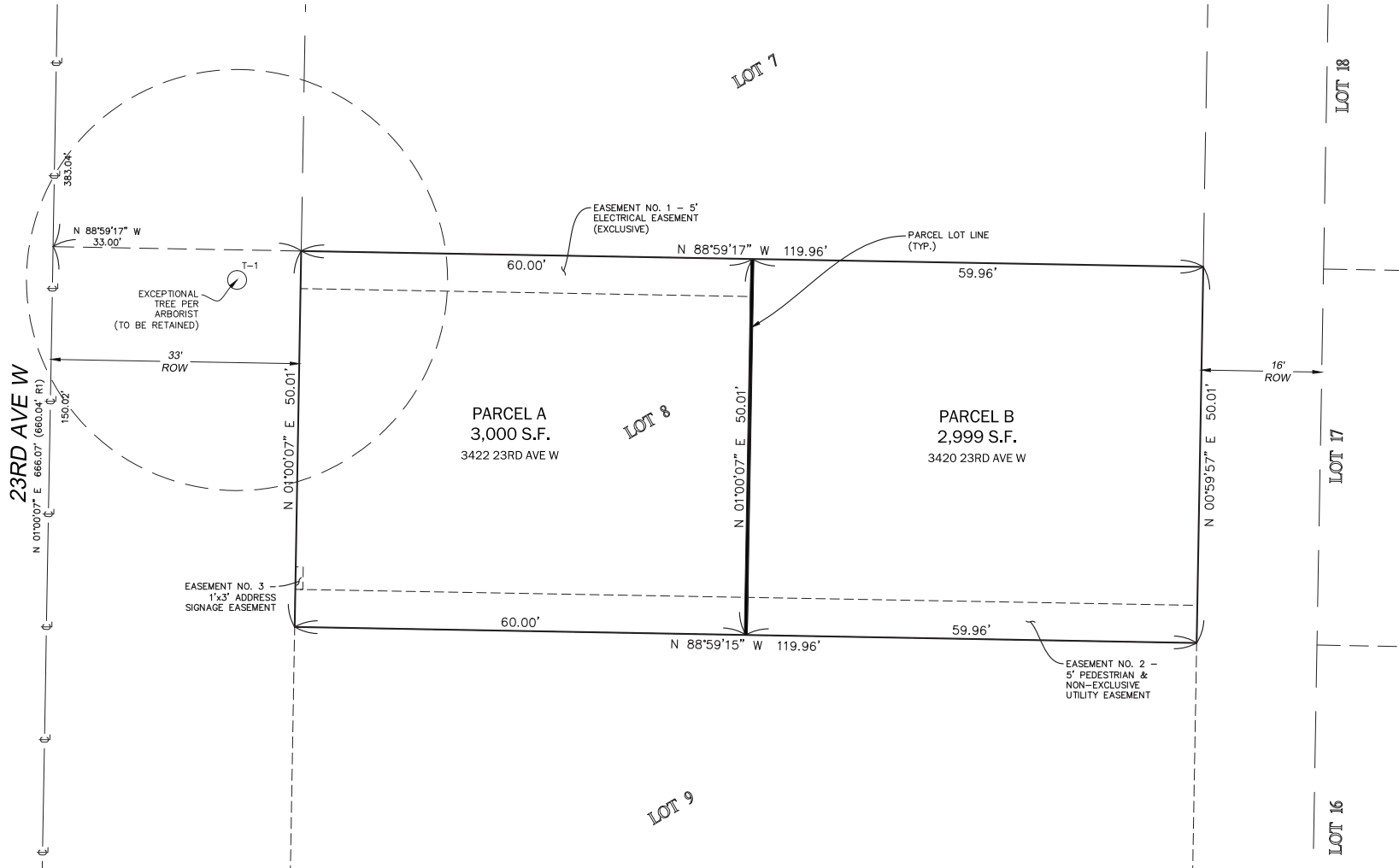
TREE INVENTORY

PER ARBORIST INVENTORY REPORT BY
SHOFFNER CONSULTING DATED AUGUST 6, 2018

T-1 38"	SCOT'S PINE	(PINUS SYLVESTRIS)	*EXCEPTIONAL
T-2 8"	CHERRY	(PRUNUS SERRULATA)	
T-3 8"	CHERRY	(PRUNUS SERRULATA)	
T-5 8"	WESTERN RED CEDAR	(THUJA PLICATA)	

CITY OF SEATTLE
SHORT SUBDIVISION NO. 3032857-LU

SITE PLAN



NEW PARCEL LEGAL DESCRIPTIONS

PARCEL A

THE WEST 60.00 FEET OF LOT 8, BLOCK 11 GILMAN'S ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT RECORDED IN VOLUME 5 OF PLATS, PAGE 93, IN KING COUNTY, WASHINGTON;

TOGETHER WITH AND SUBJECT TO EASEMENT NUMBER 2, SHOWN AND DESCRIBED HEREON;
SUBJECT TO EASEMENTS NUMBERED 1 AND 3, SHOWN AND DESCRIBED HEREON.

PARCEL B

LOT 8, BLOCK 11 GILMAN'S ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT RECORDED IN VOLUME 5 OF PLATS, PAGE 93, IN KING COUNTY, WASHINGTON;
EXCEPT THE WEST 60.00 FEET THEREOF.

TOGETHER WITH AND SUBJECT TO EASEMENT NUMBER 2, SHOWN AND DESCRIBED HEREON;
TOGETHER WITH EASEMENTS NUMBERED 1 AND 3, SHOWN AND DESCRIBED HEREON.

Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
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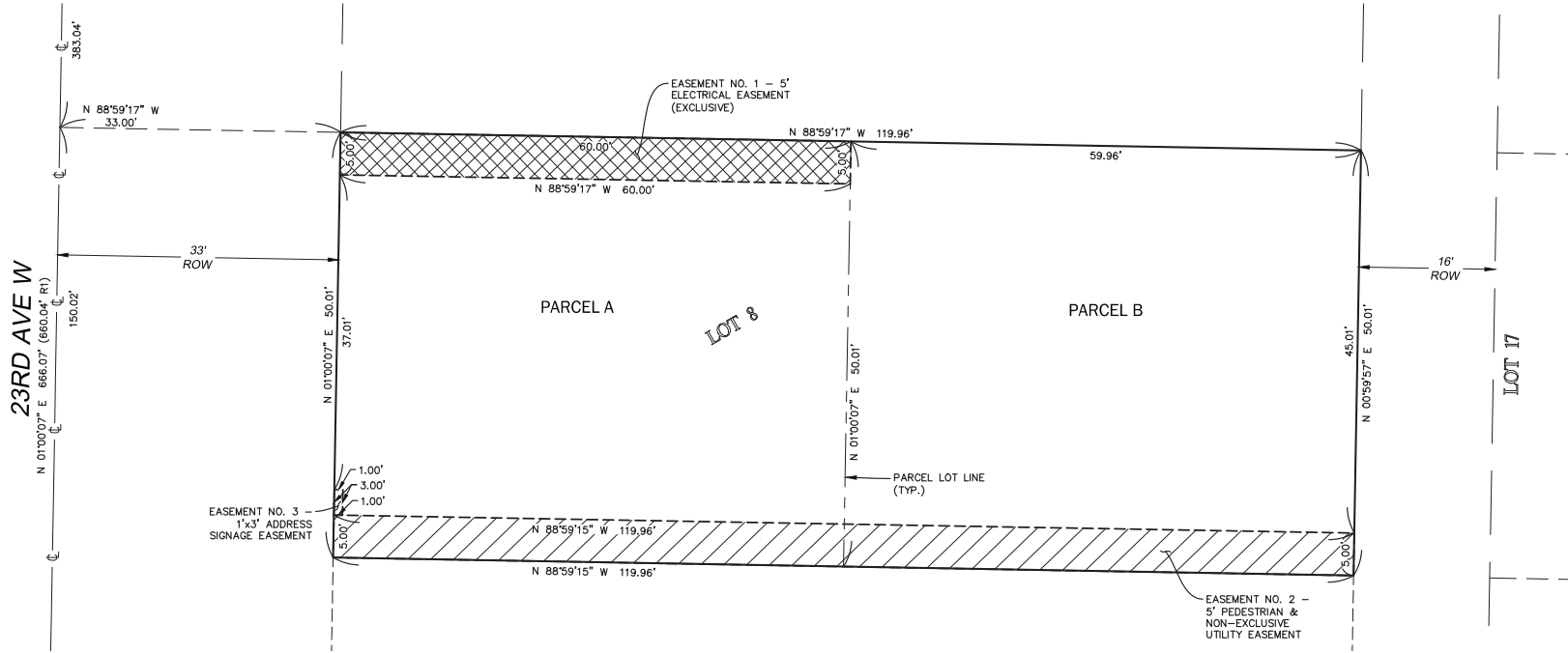


CITY OF SEATTLE SHORT SUBDIVISION
NW 1/4, SE 1/4, SEC. 14, T. 25N., R. 03E., W.M.
MIRRA 111, LLC
PARCEL NO. 277060-1470
3422 23rd Ave W
SEATTLE WA

JOB NO.: **181111**
DATE: 1/14/19
DRAFTED BY: JJK
CHECKED BY: SRM
SCALE: 1" = 10'
4 OF 5

CITY OF SEATTLE
SHORT SUBDIVISION NO. 3032857-LU

DETAILS



NEW EASEMENT LEGAL DESCRIPTIONS

EASEMENT NO. 1 – 5' ELECTRICAL EASEMENT (EXCLUSIVE)

THE NORTH 5.00 FEET OF THE WEST 60.00 FEET OF LOT 8, BLOCK 11 GILMAN'S ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT RECORDED IN VOLUME 5 OF PLATS, PAGE 93, IN KING COUNTY, WASHINGTON.

EASEMENT NO. 2 – 5' PEDESTRIAN & NON-EXCLUSIVE UTILITY EASEMENT

THE SOUTH 5.00 FEET OF LOT 8, BLOCK 11 GILMAN'S ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT RECORDED IN VOLUME 5 OF PLATS, PAGE 93, IN KING COUNTY, WASHINGTON.

EASEMENT NO. 3 – 1'X3' ADDRESS SIGNAGE EASEMENT

THE NORTH 3.00 FEET OF THE SOUTH 8.00 FEET OF THE WEST 1.00 FOOT OF LOT 8, BLOCK 11 GILMAN'S ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT RECORDED IN VOLUME 5 OF PLATS, PAGE 93, IN KING COUNTY, WASHINGTON.

SEATTLE CITY LIGHT EASEMENT

CITY OF SEATTLE LAND USE ACTION NO. 3032857-LU
EASEMENT (OVERHEAD AND UNDERGROUND)
KING COUNTY ASSESSOR/S TAX PARCEL NO. 277060-1470

THE OWNER OF THE REAL PROPERTY THAT IS THE SUBJECT OF THIS LAND USE ACTION ("GRANTOR") HEREBY GRANTS TO THE CITY OF SEATTLE ("GRANTEE") AND THE RIGHT, PRIVILEGE AND AUTHORITY (AN "EASEMENT") TO INSTALL, CONSTRUCT, ERECT, RECONSTRUCT, ALTER, IMPROVE, REMOVE, REPAIR, REPLACE, ENERGIZE, OPERATE, AND MAINTAIN OVERHEAD AND UNDERGROUND ELECTRIC DISTRIBUTION FACILITIES, WHICH MAY CONSIST OF, BUT ARE NOT LIMITED TO: POLES WITH BRACES, GUY WIRES AND ANCHORS, CROSS ARMS, TRANSFORMERS, DUCTS, VAULTS, MANHOLES, SWITCHES, CABINETS, CONTAINERS, CONDUITS, WIRES AND OTHER CONVENIENT APPURTENANCES NECESSARY TO MAKE SAID OVERHEAD AND UNDERGROUND DISTRIBUTION FACILITIES AN INTEGRATED ELECTRIC SYSTEM ("ELECTRIC SYSTEM"). ALL SUCH ELECTRIC SYSTEM SHALL BE LOCATED ACROSS, OVER, UPON AND UNDER THE REAL PROPERTY DESCRIBED WITHIN THIS LAND USE ACTION ("PROPERTY") SITUATED IN THE COUNTY OF KING, STATE OF WASHINGTON, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE 5' ELECTRICAL (EXCLUSIVE) EASEMENT NO. 1 LYING WITHIN PARCEL A OF THIS CITY OF SEATTLE SHORT PLAT NO. 3032857-LU WHICH SHALL BE OCCUPIED AND CONTROLLED EXCLUSIVELY BY SEATTLE CITY LIGHT, A DEPARTMENT OF THE CITY OF SEATTLE.

TOGETHER WITH GRANTEE'S AND ITS ASSIGNS' UNRESTRICTED RIGHT OF ACCESS TO AND FROM THE PROPERTY FOR THE PURPOSES OF EXERCISING ITS RIGHTS GRANTED HEREIN.

TOGETHER WITH GRANTEE'S AND ITS ASSIGNS' RIGHT TO CUT AND TRIM BRUSH, TREES OR OTHER PLANTS STANDING OR GROWING UPON THE PROPERTY WHICH, IN THE OPINION OF THE GRANTEE, INTERFERE WITH THE MAINTENANCE OR OPERATION OF, OR CONSTITUTE A MENACE OR DANGER TO, THE ELECTRIC SYSTEM.

GRANTOR, ITS SUCCESSORS AND ASSIGNS, COVENANTS AND AGREES THAT NO STRUCTURE OR FIRE HAZARDS WILL BE BUILT OR PERMITTED WITHIN THE EASEMENT AREA(S) DESCRIBED ABOVE; THAT NO DIGGING WILL BE DONE OR PERMITTED WITHIN THE PROPERTY WHICH WILL IN ANY MANNER DISTURB GRANTEE'S ELECTRIC SYSTEM OR ITS SOLIDITY OR UNDEARTH ANY PORTION THEREOF; AND THAT NO BLASTING OR DISCHARGE OF ANY EXPLOSIVES WILL BE PERMITTED WITHIN FIFTY (50) FEET OF THE ELECTRIC SYSTEM.

THE CITY OF SEATTLE SHALL BE RESPONSIBLE, AS PROVIDED BY LAW, FOR ANY DAMAGE TO THE GRANTOR THROUGH ITS NEGLIGENCE IN THE CONSTRUCTION, MAINTENANCE AND OPERATION OF THE ELECTRIC SYSTEM.

THE RIGHTS, TITLE, PRIVILEGES AND AUTHORITY HEREBY GRANTED SHALL CONTINUE AND BE IN FORCE UNTIL THE GRANTEE PERMANENTLY REMOVES ITS ELECTRIC SYSTEM FROM THE PROPERTY OR PERMANENTLY ABANDONS THE ELECTRIC SYSTEM, AT WHICH TIME ALL SUCH RIGHTS, TITLE, PRIVILEGES AND AUTHORITY HEREBY GRANTED SHALL TERMINATE.

ADDRESS SIGN MAINTENANCE AGREEMENT:

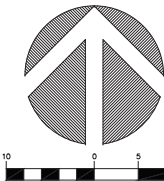
ANY PARCEL BENEFITING FROM THE POSTING OF THE ADDRESS SIGN WITHIN THE EASEMENT AS DEPICTED AND DESCRIBED HEREIN IS RESPONSIBLE FOR THE MAINTENANCE THEREOF, SHARING EQUALLY IN THE COST OF MAINTENANCE, REPAIR AND/OR REPLACEMENT TO SAID ADDRESS SIGN.

EASEMENT MAINTENANCE AGREEMENT:

SAID EASEMENTS OF THIS SHORT PLAT ARE TO BE EQUALLY MAINTAINED, REPAIRED AND/OR REBUILT BY THE OWNERS OF ALL PARCELS HAVING LEGAL ACCESS AND UTILITY SERVICE THEREFROM AND THEIR HEIRS, ASSIGNS AND SUCCESSORS.

INDIVIDUAL UTILITY SERVICE LINES, INCLUDING STORM AND SANITARY SIDE SEWER LINES AND STORM DRAINAGE FACILITIES, ARE THE SOLE RESPONSIBILITY OF THE OWNERS OF THE PARCEL THAT IS SERVED BY SAID INDIVIDUAL SERVICE LINE/FACILITIES. UTILITY SERVICE LINES OR FACILITIES WHICH SERVE MORE THAN ONE PARCEL SHALL BE EQUALLY MAINTAINED, REPAIRED AND/OR REBUILT BY THE OWNERS OF ALL PARCELS SERVICED. EXCEPT THAT, NO PARCEL SHALL BE RESPONSIBLE FOR REPAIRS UPSTREAM OF THE CONNECTION POINT OF SAID PARCEL.

THIS MAINTENANCE AGREEMENT COVERS NORMAL USAGE, WEAR AND TEAR, AND LIFE EXPECTANCY OF MATERIALS. ANY DAMAGE INCURRED BY AN INDIVIDUAL OWNER SHALL BE REPAIRED AND/OR RESTORED TO PRE DAMAGED CONDITIONS WITHIN 30 DAYS; THE OWNER WHICH INCURRED THE DAMAGE SHALL BE SOLELY RESPONSIBLE FOR THE COST OF REPAIR OR REPLACEMENT OF THE MATERIALS. IN NO EVENT SHALL ACCESS OR UTILITY SERVICE BE DENIED OTHER PROPERTY OWNERS OF SAID EASEMENTS FOR MORE THAN 24 HOURS.



(IN FEET)
1 INCH = 10 FT.

Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net



WA

CITY OF SEATTLE SHORT SUBDIVISION
NW 1/4, SE 1/4, SEC. 14, T. 25N., R. 03E., W.M.

MIRRA 111, LLC
PARCEL NO. 277060-1470
3422 23rd Ave W

SEATTLE

JOB NO.: 181111

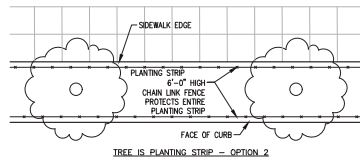
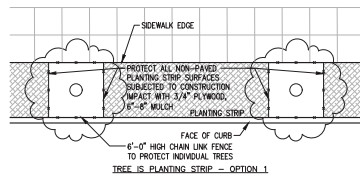
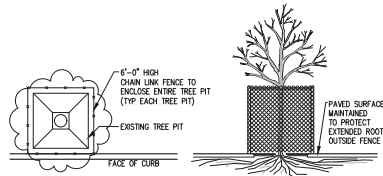
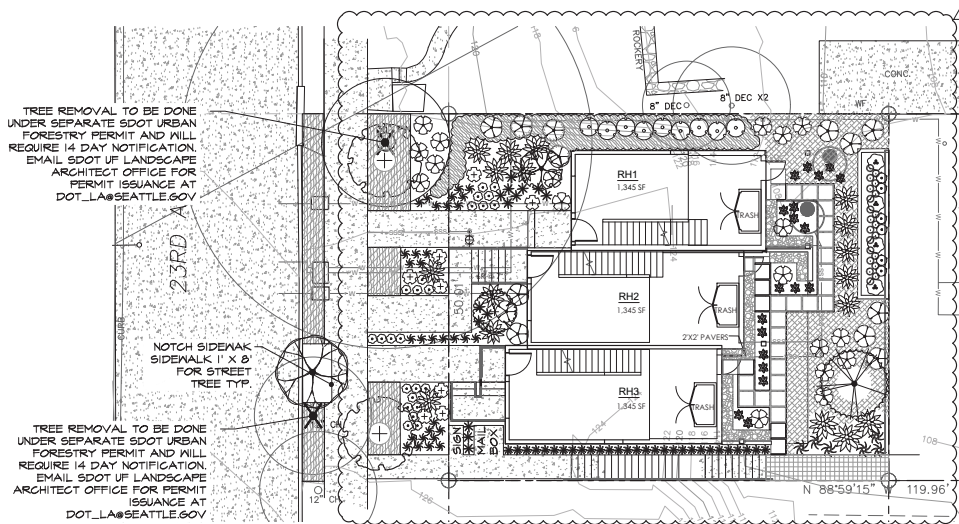
DATE: 1/14/19

DRAFTED BY: JJK

CHECKED BY: SRM

SCALE: 1" = 10'

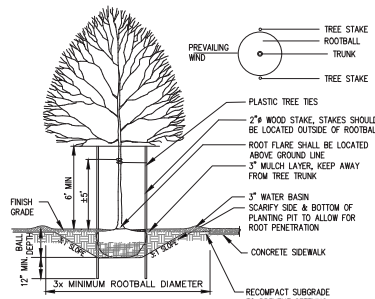
5 OF 5



1 TREE PROTECTION DURING CONSTRUCTION

























- NOTES:
- See soil amendment detail for soil specifications COS plan 142.
 - See bioretention planter detail for bioretention specifications.
 - All planting beds to receive minimum 3'-4" of mulch.
 - Contractor shall be responsible for providing the quantities of plants that are represented by symbols on the drawings.
 - Street Tree required. Plant Street Tree per COS Plan 100A. Water Tree for 3 growing seasons after planting.
 - SDOT requires two inspections for street trees. First is the pre-plant inspection. Trees are inspected before going into the ground, soil amendment/root barrier is inspected. Second is final inspection. To schedule inspections, email DOT.LA@seattle.gov
 - 48-72 hours advanced notice to schedule onsite inspections.
 - Planting of trees, shrubs and groundcovers within the City of Seattle's right of way must be performed during the period between October 1st and April 30th. Unless automatic irrigation is installed or an agreed upon contractual watering plan is made. Email dot.la@seattle.gov to verify planting timelines for street trees and right of way planting.

2 TYPICAL DECIDUOUS TREE PLANTING DETAIL



- NOTES:
1. TREE PIT SHALL NOT BE LESS THAN (3) TIMES ROOT BALL DIA.
 2. CUT ALL TIES AND FOLD BACK BURLAP FROM UPPER 1/3 OF ROOT BALL
 3. REMOVE ALL PLASTIC AND TIMING
 4. TREE STAKES PERPENDICULAR TO THE PREVAILING WIND
 5. PLANT TREES 2" HIGHER THAN DEPTH GROWN IN NURSERY

PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	SIZE	DROUGHT TOLERANT	NATIVE	QTY	
	Acer japonicum 'Autumn Moon' / Autumn Moon Maple	2" Cal	No	No	1	
	Acer palmatum 'Bloodgood' / Bloodgood Japanese Maple	1.5" Cal	No	No	1	
	Shinkgo biloba Princeton Sentry / Princeton Sentry Shinkgo Street Tree	2" to 2.5" Cal.	No	No	2	
	Lagerstroemia 'Tuscarora' / Tuscarora Hybrid Grape Myrtle Street Tree	2" to 2.5"	No	No	1	
	Thuja plicata / Western Red Cedar Replacement Tree	6"-7" Ht.	No	No	1	
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	DROUGHT TOLERANT	NATIVE	QTY	
	Acorus gramineus 'Ogon' / Golden Variegated Sweetflag	1 gal	Yes	No	14	
	Bergenia cordifolia 'Winterglut' / Winterglut Bergenia	1 gal	Yes	No	24	
	Carex oshimensis 'Everillo' / Everillo Japanese Sedge	1 gal	Yes	No	31	
	Hakonechloa macra 'Aureola' / Golden Variegated Hakonechloa	1 gal	Yes	No	6	
	Leucothoe fontanesiana 'Rainbow' / Rainbow Leucothoe	2 gal	Yes	No	10	
	Liriope muscari 'Big Blue' / Big Blue Lilyturf	1 gal	Yes	No	24	
	Mahonia x media 'Charity' / Mahonia	5 gal	Yes	Yes	15	
	Nandina domestica 'Gulf Stream' TM / Heavenly Bamboo	2 gal	Yes	No	8	
	Pieris japonica 'Brouwer's Beauty' / Lily of the Valley Bush	3 gal	Yes	No	10	
	Polystichum munitum / Western Sword Fern	1 gal	Yes	Yes	14	
	Sarcococca nuscifolia / Fragrant Sarcococca	2 gal	Yes	No	4	
BIORETENTION	BOTANICAL NAME / COMMON NAME	SIZE	DROUGHT TOLERANT	NATIVE	QTY	
	Carex obnupta / Slough Sedge	1 gal	Yes	Yes	21	
	Cornus alba 'Gaulthierii' / Goldenleaf Dogwood	5 gal	Yes	No	4	
	Cornus sericea 'Kelsey' / Kelsey Dogwood	1 gal	Yes	Yes	6	
GROUND COVERS	BOTANICAL NAME / COMMON NAME	SIZE	DROUGHT TOLERANT	NATIVE	SPACING	QTY
	Arctostaphylos uva-ursi 'Vancouver Jade' / Kimikinnick	1 gal	Yes	Yes	24" o.c.	106
	Rubus calycinosus 'Emerald Carpet' / Creeping Raspberry	4" pot	Yes	No	24" o.c.	70
	Sagina subulata / Irish Moss	4" pot	Yes	No	4" o.c.	55
	Vinca minor 'Bowles Blue' / Dwarf Periwinkle	4" pot	Yes	No	24" o.c.	55
SITE	BOTANICAL NAME / COMMON NAME	SIZE	DROUGHT TOLERANT	NATIVE	SPACING	QTY
	1/8" Drain Rock	N/A				12 s.f.

Root of Design
1104 26th St, NW #218
Stanwood, WA 98242



State of Washington
Department of Ecology
Ecology Permit
Date Permit
Certificate: 022

PROJECT TITLE

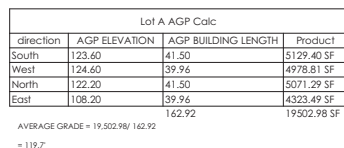
LANDSCAPE PLAN

3000 3RD AVE W SEATTLE, WA

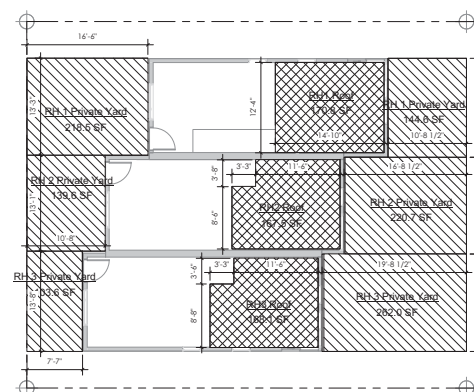
DRAWN: EK DATE: 10.10.18
REVISED: ELK DATE: 03.25.19
NH DATE: 03.25.19

1/8" = 1'-0"

L1



1 HEIGHT CALCULATION PLAN



2 AMENITY AREA DIAGRAM

LOT A REQUIRED AMENITY		
LOT AREA 1	REQUIRED AMENITY	REQUIRED GROUND
3,000.0 SF	750.0 SF	375.0 SF

Amenity Area Summary - RH	
Comments	Area
GROUND	1,088.9 SF
ROOF	101.4 SF



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STATE OF WASHINGTON

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P 206.383.7095

3422 23rd Ave W
3422 23rd Ave W
Seattle, WA 98199

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RP #	AA89291
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[illegible]

HEIGHT CALC
& AMENITY
AREA

Scale	1/8" = 1'-0"
Date	10/16/2011

A1.1

Project Number	JWA#49
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1 Lot A West Elevation Design Standards
SCALE: 1/4" = 1'-0"



DESIGN STANDARDS NOTES:

SMC23.45.529.C.1
AT LEAST 20% OF EACH STREET FACING FACADE SHALL CONSIST OF "TRANSPARENT" WINDOWS AND/OR DOORS, EXCEPT PROVIDED IN SUBSECTION 23.45.526.C.1.B. FOR ANY ROWHOUSE OR TOWNHOUSE DWELLING UNIT THAT HAS A BOTH A FRONT AND A SIDE FACADE THAT ARE STREET-FACING, THE PERCENTAGE OF THE SIDE STREET-FACING FACADE REQUIRED TO CONSIST OF WINDOWS AND/OR DOORS IS REDUCED TO 10 PERCENT FOR THE PORTION OF THE FACADE ASSOCIATED WITH THAT DWELLING UNIT. THIS REDUCTION TO 10 PERCENT IS NOT ALLOWED IF THE FACADES ARE COMBINED FOR THE PURPOSE OF THIS STANDARD PURSUANT TO SUBSECTION 23.45.529.C.1.A OR IF ANY OF THE EXCEPTIONS IN SUBSECTION 23.45.529.C.3 ARE APPLIED.

3. The Director may allow exceptions to the facade openings requirements in subsection 23.45.529.C.1 and the facade articulation requirements in subsection 23.45.529.C.2, if the Director determines that the street-facing facade will meet the intent of subsection 23.45.529.A.1, and the intent of subsections 23.45.529.D.2, 23.45.529.E.3, and 23.45.529.F.4 for cottage housing developments, rowhouse developments, and townhouse developments, respectively, through one or more of the following street-facing facade treatments: a. Variations in building materials and/or color, or both, that reflect the stacking of stories or reinforce the articulation of the facade; b. Incorporation of architectural features that add interest and dimension to the facade, such as porches, bay windows, chimneys, pilasters, columns, cornices, and/or balconies; c. Special landscaping elements provided to meet Green Factor requirements pursuant to Section 23.45.524, such as trellises, that accommodate vegetated walls covering a minimum of 25 percent of the facade surface; d. Special fenestration treatment, including an increase in the percentage of windows and doors to at least 25 percent of the street-facing facade (s).

PLANE AREAS- DESIGN STANDARDS			
Comments	Width	Depth	Area
Plane 1 spatial	13'-3 1/4"	25'-10"	325.0 SF
Plane 2 spatial	13'-3 3/4"	28'-0"	354.0 SF
Plane 3 spatial	13'-5"	27'-6"	347.0 SF
			1,026.0 SF

STREET FACING FACADE GLAZING SUMMARY	
BUILDING	AREA
RH1	15.0 SF
RH1	7.5 SF
RH1	33.3 SF
RH2	33.3 SF
RH2	15.0 SF
RH2	7.5 SF
RH3	33.3 SF
RH3	15.0 SF
RH3	7.5 SF
	167.5 SF

STREET FACING DOOR GLAZING SUMMARY			
BUILDING	WIDTH	HEIGHT	AREA
RH1	2'-3"	6'-10"	15.4 SF
RH2	2'-3"	6'-10"	15.4 SF
RH3	2'-3"	6'-10"	15.4 SF
			46.2 SF

AVERAGE STREET TRANSPARENCY
167.5 SF + 46.2 SF / 1,083.8 SF = 0.2

20% TRANSPARENCY

JW ARCHITECTS

Date: March 2018

Client: Street Facing Design Standards, Providence Heights

Project: SMC23-027, Providence Heights
S2017 Project # 201801001

The following is a summary of the design standards for the Providence Heights project and is intended to provide a general overview of the design standards. These standards are intended to provide a general overview of the design standards and are not intended to be a substitute for the full design standards. These standards are intended to provide a general overview of the design standards and are not intended to be a substitute for the full design standards.

1. Facade Materials: The facade materials shall be selected to provide a high level of visual interest and shall be consistent with the design standards for the Providence Heights project.

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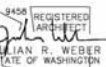
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SP # 6887292

No.	Date	Description
1	10.16.2018	MUP SUBMITTAL
2	11.07.2018	BP SUBMITTAL
3	05.09.2019	MUP CORRECTIONS 1

DESIGN
STANDARDS

Scale 1/4" = 1'-0"
Date 10/14/2018

A1.2

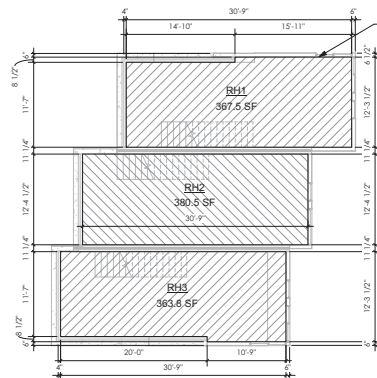
Project Number JW4493

GROSS FLOOR AREA MEASURED TO THE INTERIOR FACE OF SUPPORTING STRUCTURAL MEMBERS. NOMINAL DIMENSIONS OF STRUCTURAL MEMBERS ARE UNDERSTOOD TO INCLUDE UP TO 1/2" OF GYPSUM BOARD IN MOST CASES.

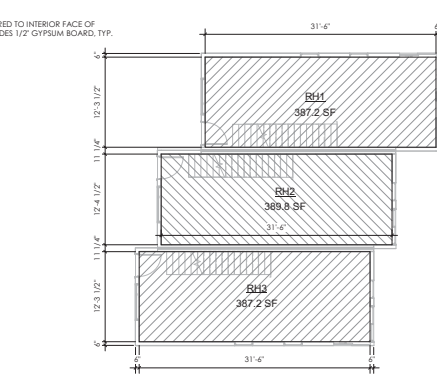
FLOOR AREA RATIO (FAR) TABLE LOT A				
FLOOR AREA LABEL	Category	GROSS FLOOR AREA	CHARGEABLE FLOOR AREA	CODE REFERENCE (EXEMPT FAR)
RH1	Level 1	367.5 SF	367.5 SF	
RH1	Level 2	367.2 SF	367.2 SF	
RH1	Level 3	367.2 SF	367.2 SF	
RH1	Penthouse	17.7 SF	17.7 SF	
RH2	Level 1	380.5 SF	380.5 SF	
RH2	Level 2	389.8 SF	389.8 SF	
RH2	Level 3	389.8 SF	389.8 SF	
RH2	Penthouse	70.5 SF	70.5 SF	
RH3	Level 1	363.6 SF	363.6 SF	
RH3	Level 2	367.2 SF	367.2 SF	
RH3	Level 3	367.2 SF	367.2 SF	
RH3	Penthouse	70.5 SF	70.5 SF	
TOTAL		3,598.9 SF	3,598.9 SF	

LOT A AREA	CHARGEABLE AREA	PROPOSED FAR
2,999.0 SF	3,598.9 SF	1.200033

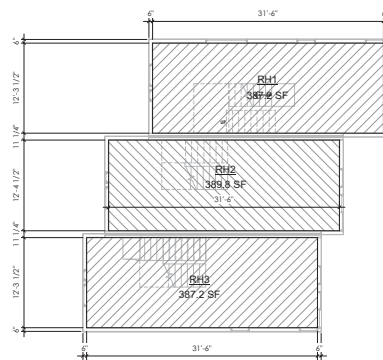
FAR AREA SUMMARY (ALLOWED) LOT A		
1/2 FAR	MAX ALLOWED G.F.A.	MAX PROPOSED
1,499.5 SF	1,799.5 SF	1,799.5 SF



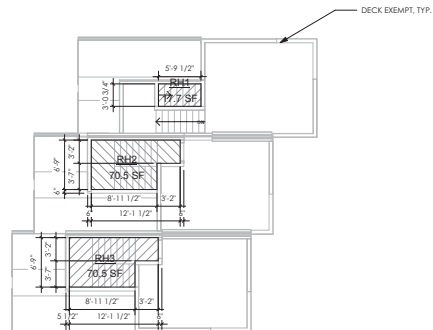
1 LOT A Level 1
SCALE: 1/8" = 1'-0"



2 LOT A LEVEL 2
SCALE: 1/8" = 1'-0"



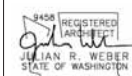
3 LOT A Level 3
SCALE: 1/8" = 1'-0"



4 LOT A Roof
SCALE: 1/8" = 1'-0"



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BP # 6687292

No.	Date	Description
10	10.14.2018	MUP SUBMITTAL
11	07.07.2018	BP SUBMITTAL
1	05.09.2019	MUP CORRECTIONS 1

FAR
DIAGRAMS

Scale 1/8" = 1'-0"
Date 10/14/2018

A2.0

Project Number JWA0493

FLOOR PLAN NOTES:

- * ALL INTERIOR WALLS TO BE 2x4 @ 24" O.C. (U.N.O.)
- * ALL EXTERIOR WALLS 2x6 PER STRUCTURAL
- * HEADERS PER STRUCTURAL
- * WINDOW SIZES ARE NOMINAL ROUGH OPENING, WIDTH AND HEIGHT
- * ALL EGRESS WINDOWS SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES MEASURED FROM THE FINISHED FLOOR TO THE BOTTOM OF THE CLEAR OPENING.
- * PROVIDE FIREBLOCKING AT ALL PLUMBING OPENINGS.
- * PROVIDE SOLID BLOCKING OVER SUPPORTS
- * IN SEISMIC ZONES D0, D1 & D2, WATER HEATERS SHALL BE ANCHORED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER ONE-THIRD AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSIONS PER SRC 8002.1.1
- * PROVIDE OUTDOOR COMBUSTION AIR FOR FURNACE AND WATER HEATER PER SRC 02607.6.

SMOKE DETECTORS

SRC R314.3 SMOKE ALARMS

- SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
1. IN EACH SLEEPING ROOM
 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS, BUT NOT INCLUDING CRAWLSPACES AND UNHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER FLOOR SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
- SMOKE DETECTORS TO BE HARDWIRED, INTERCONNECTED, WITH BATTERY BACKUP PER SRC R314.4.

CARBON MONOXIDE DETECTORS

SRC R311.1 CARBON MONOXIDE ALARMS

FOR NEW CONSTRUCTION, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS AND ON EACH LEVEL OF THE DWELLING AND IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS.

VENTILATION SCHEDULE

- WHOLE HOUSE VENTILATION TO CONFORM TO SMC SECTION 403.4.
- 100 CFM ON SWITCH
 - 50 CFM ON SWITCH
 - 40 CFM CONTINUOUSLY OPERATING WHOLE HOUSE FAN, SIZED PER TABLE SMC 403.4.1
 - 50 CFM ON INTERMITTENT SWITCH, PER SMC TABLE 403.3.1.1
 - CRAWLSPACE POWER VENT CONTINUOUSLY OPERATING
- MECHANICAL VENTILATING SYSTEMS IN BATHROOMS, LAUNDRY ROOMS, AND SIMILAR ROOMS SHOULD EXHAUST DIRECTLY TO THE OUTSIDE. THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST THREE FEET FROM ANY OPENING INTO THE BUILDING PER SMC 403.4.3.

PER SMC 403.4.1, OUTDOOR AIR MAY BE DRAWN IN THROUGH OPERABLE OPENINGS TO THE OUTDOORS.

OUTDOOR AIR INTAKE AND EXHAUST OPENINGS SHALL MEET THE REQUIREMENTS OF SMC 403.4.3 AND 403.4.6.2. EACH HABITABLE SPACE TO BE PROVIDED WITH OPERABLE OPENING OF MIN. 4 SQUARE INCHES NET FREE AREA PER 10 CFM OUTDOOR AIR REQUIRED. REFER TO AIR INLET CALCULATION ON GLAZING SCHEDULE, SHEET A4.0.

WHOLE HOUSE EXHAUST FANS SHALL HAVE A SONE RATING OF 1.0 OR LESS WHEN LOCATED 4' OR LESS FROM THE INTERIOR GRILLE PER SMC 403.4.5.

Area Summary RH1

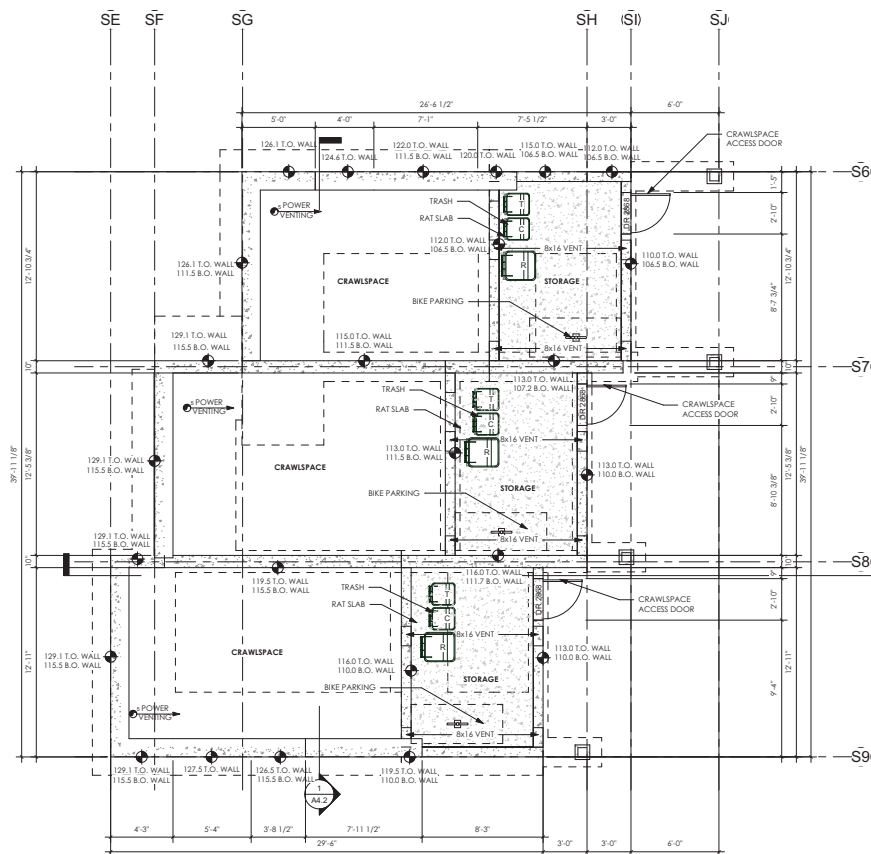
Level	Name	Area
LOT A Level 1	RH1	424.4 SF
LOT A LEVEL 2	RH1	435.5 SF
LOT A Level 3	RH1	433.3 SF
LOT A Roof	RH1	28.6 SF
		1,321.8 SF

Area Summary RH2

Level	Name	Area
LOT A Level 1	RH2	419.8 SF
LOT A LEVEL 2	RH2	434.3 SF
LOT A Level 3	RH2	430.3 SF
LOT A Roof	RH2	36.9 SF
		1,381.3 SF

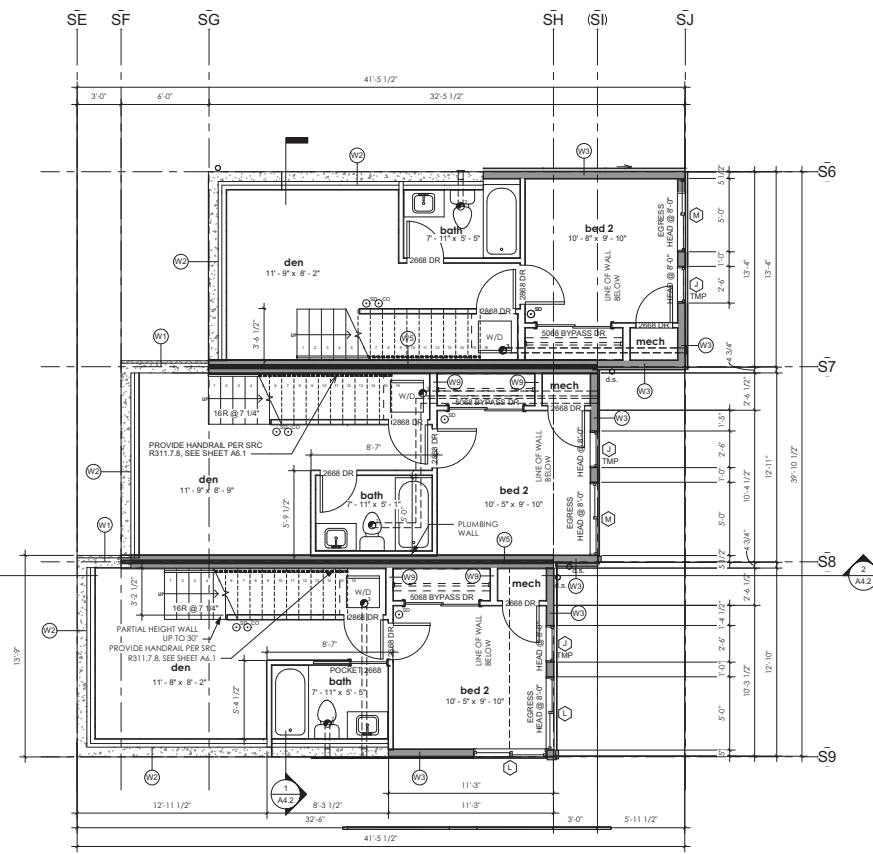
Area Summary RH3

Level	Name	Area
LOT A Level 1	RH3	433.5 SF
LOT A LEVEL 2	RH3	435.0 SF
LOT A Level 3	RH3	432.8 SF
LOT A Roof	RH3	27.2 SF
		1,398.5 SF



1 Foundation Plan

SCALE: 1/4" = 1'-0"



2 Level 1

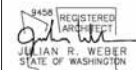
SCALE: 1/4" = 1'-0"



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BP # 6887292

No.	Date	Description
10.14.2018	MUP SUBMITTAL	
11.07.2018	BP SUBMITTAL	
05.09.2019	MUP CORRECTIONS 1	

FLOOR PLANS

Scale 1/4" = 1'-0"
Date 10/14/2018

A2.1

Project Number JW4493

5/9/2019 4:48:56 PM

FLOOR PLAN NOTES:

- * ALL INTERIOR WALLS TO BE 2x4 @ 24" O.C. [U.N.D.]
- * ALL EXTERIOR WALLS 2x6 PER STRUCTURAL
- * HEADERS PER STRUCTURAL
- * WINDOW SIZES ARE NOMINAL, ROUGH OPENING, WIDTH AND HEIGHT.
- * ALL EGRESS WINDOWS SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES MEASURED FROM THE FINISHED FLOOR TO THE BOTTOM OF THE CLEAR OPENING.
- * PROVIDE FIREBLOCKING AT ALL PIPING OPENINGS.
- * PROVIDE SOLID BLOCKING OVER SUPPORTS.
- * IN SEISMIC ZONES D1, D1 & D2, WATER HEATERS SHALL BE ANCHORED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER ONE-THIRD AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSIONS PER SRC R802.11
- * PROVIDE OUTDOOR COMBUSTION AIR FOR FURNACE AND WATER HEATER PER SRC G2407.6.

SMOKE DETECTORS

SRC R314.3 SMOKE ALARMS

- SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
1. IN EACH SLEEPING ROOM
 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS, BUT NOT INCLUDING CRAWLSPACES AND UNINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN ADJACENT LEVELS. A SMOKE ALARM INSTALLED ON THE UPPER FLOOR SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.

SMOKE DETECTORS TO BE HARDWIRED, INTERCONNECTED, WITH BATTERY BACKUP PER SRC R314.4.

CARBON MONOXIDE DETECTORS

SRC R315.1 CARBON MONOXIDE ALARMS

FOR NEW CONSTRUCTION, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS AND ON EACH LEVEL OF THE DWELLING AND IN ACCORDANCE WITH THE MANUFACTURERS DIRECTIONS.

VENTILATION SCHEDULE

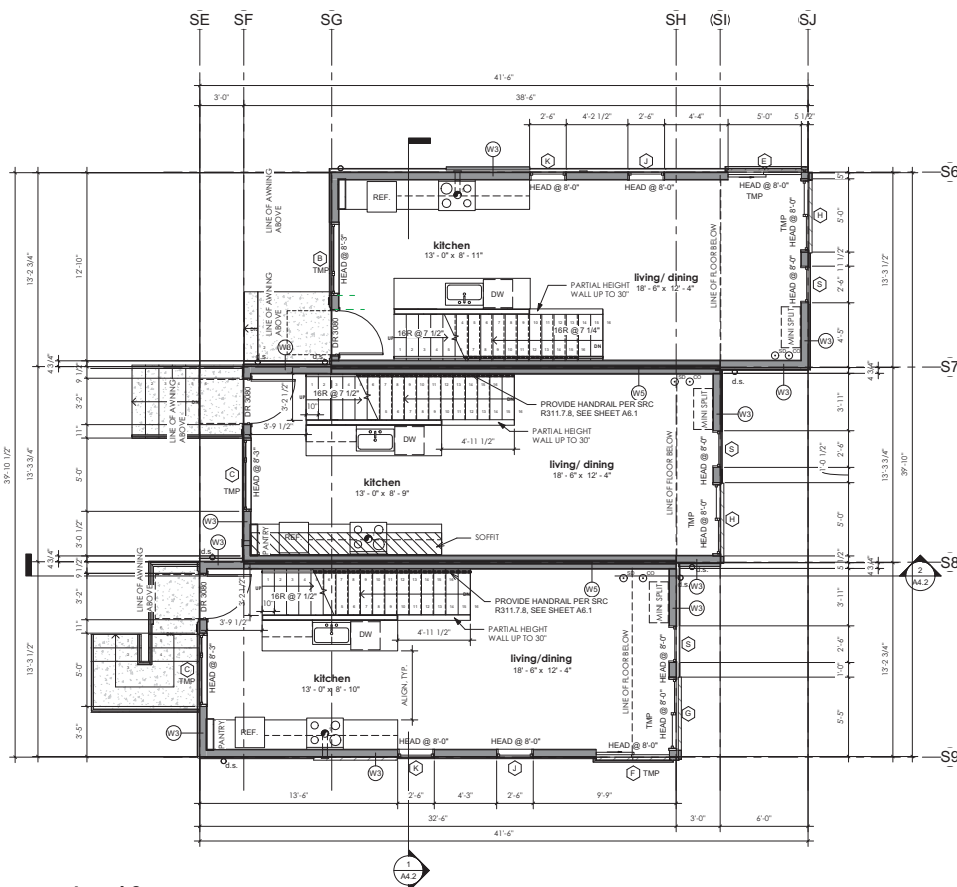
WHOLE HOUSE VENTILATION TO CONFORM TO SMC SECTION 403.4.

- 100 CFM ON SWITCH
- 50 CFM ON SWITCH
- 60 CFM CONTINUOUSLY OPERATING WHOLE HOUSE FAN, SIZED PER TABLE SMC 403.4.1
- 50 CFM ON INTERMITTENT SWITCH, PER SMC TABLE 403.3.1.1
- CRAWL SPACE POWER VENT CONTINUOUSLY OPERATING

PER SMC 403.4.1.1, OUTDOOR AIR MAY BE DRAWN IN THROUGH OPERABLE OPENINGS TO THE OUTDOORS.

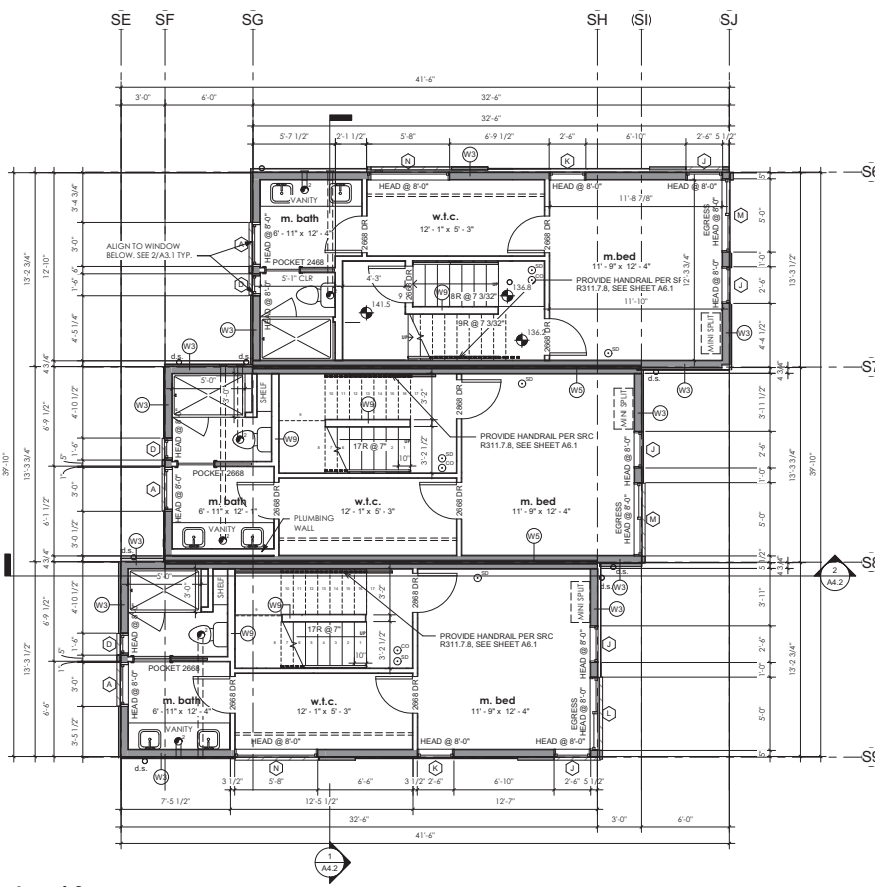
OUTDOOR AIR INTAKE AND EXHAUST OPENINGS SHALL MEET THE REQUIREMENTS OF SMC 403.4.3 AND 403.4.6.2. EACH HABITABLE SPACE TO BE PROVIDED WITH OPERABLE OPENING OF MIN. 4 SQUARE INCHES NET FREE AREA PER 10 CFM OUTDOOR AIR REQUIRED. REFER TO AIR INLET CALCULATION ON GLAZING SCHEDULE, SHEET A4.0.

WHOLE HOUSE EXHAUST FANS SHALL HAVE A SONE RATING OF 1.0 OR LESS WHEN LOCATED 4' OR LESS FROM THE INTERIOR GRILLE PER SMC 403.8.5.



Level 2

SCALE: 1/4" = 1'-0"



Level 3

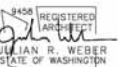
SCALE: 1/4" = 1'-0"



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P #	6689292	
No.	Date	Description
	10.16.2018	MUP SUBMITTAL
	11.07.2018	BP SUBMITTAL
	05.09.2019	MUP CORRECTIONS 1

FLOOR PLANS

Scale: 1/4" = 1'-0"
Date: 10/14/2018

A2.2

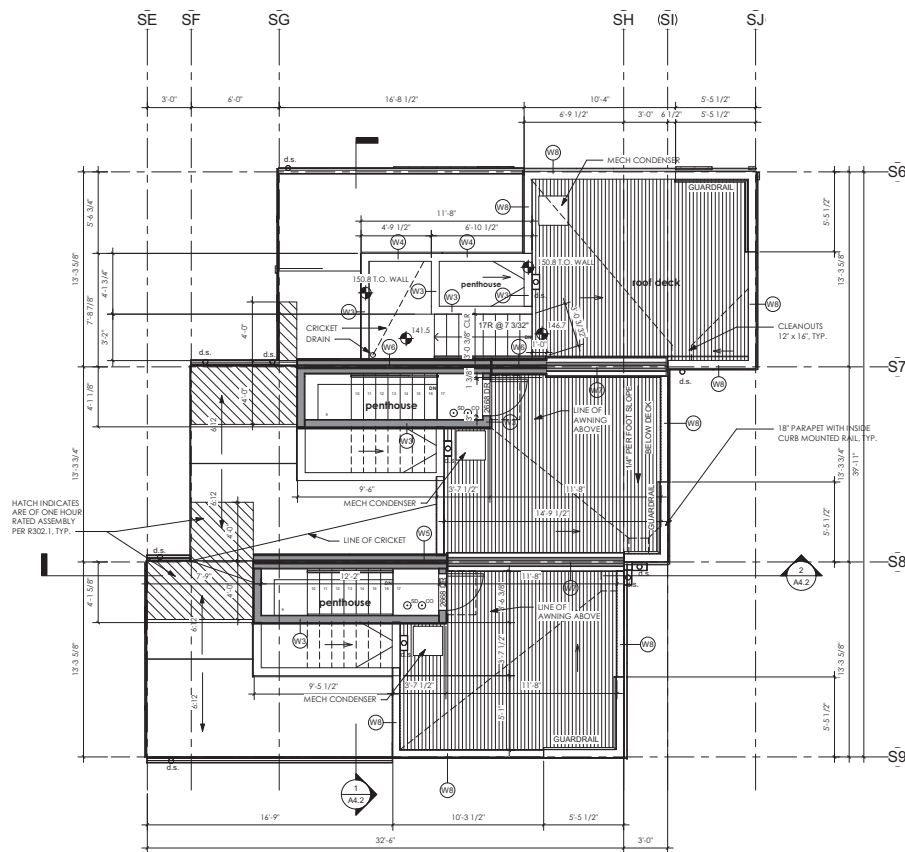
Project Number: JWA493

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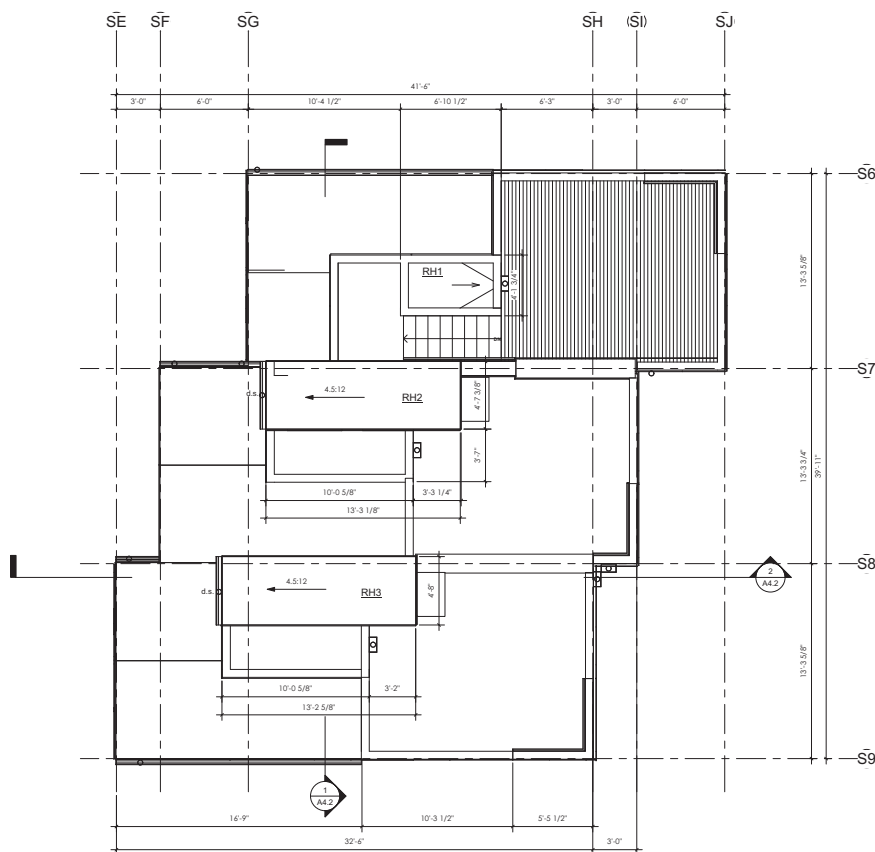
PENTHOUSE AREA CALCULATION SUMMARY LOT A	
TOTAL ROOF AREA	20% ALLOWED AREA PER SMC 23.42.514
1,296.5 SF	259.3 SF

PENTHOUSE AREA LOT A (PROPOSED)	
Name	Area
RH3	97.2 SF
RH2	94.9 SF
RH1	28.6 SF
TOTAL	222.7 SF

ROOF DECK VENTILATION	
UNVENTED ASSEMBLY TO COMPLY WITH SRC R 806.5	



1 Roof Plan
SCALE: 1/4" = 1'-0"



2 Penthouse Plan
SCALE: 1/4" = 1'-0"



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BP #		668729
No.	Date	Description
	10.16.2018	MUP SUBMITTAL
	11.07.2018	BP SUBMITTAL
1	05.09.2019	MUP CORRECTIONS

FLOOR PLANS

Scale: 1/4" = 1'-0"
Date: 10/14/2018

A2.3
Project Number: JWA4493



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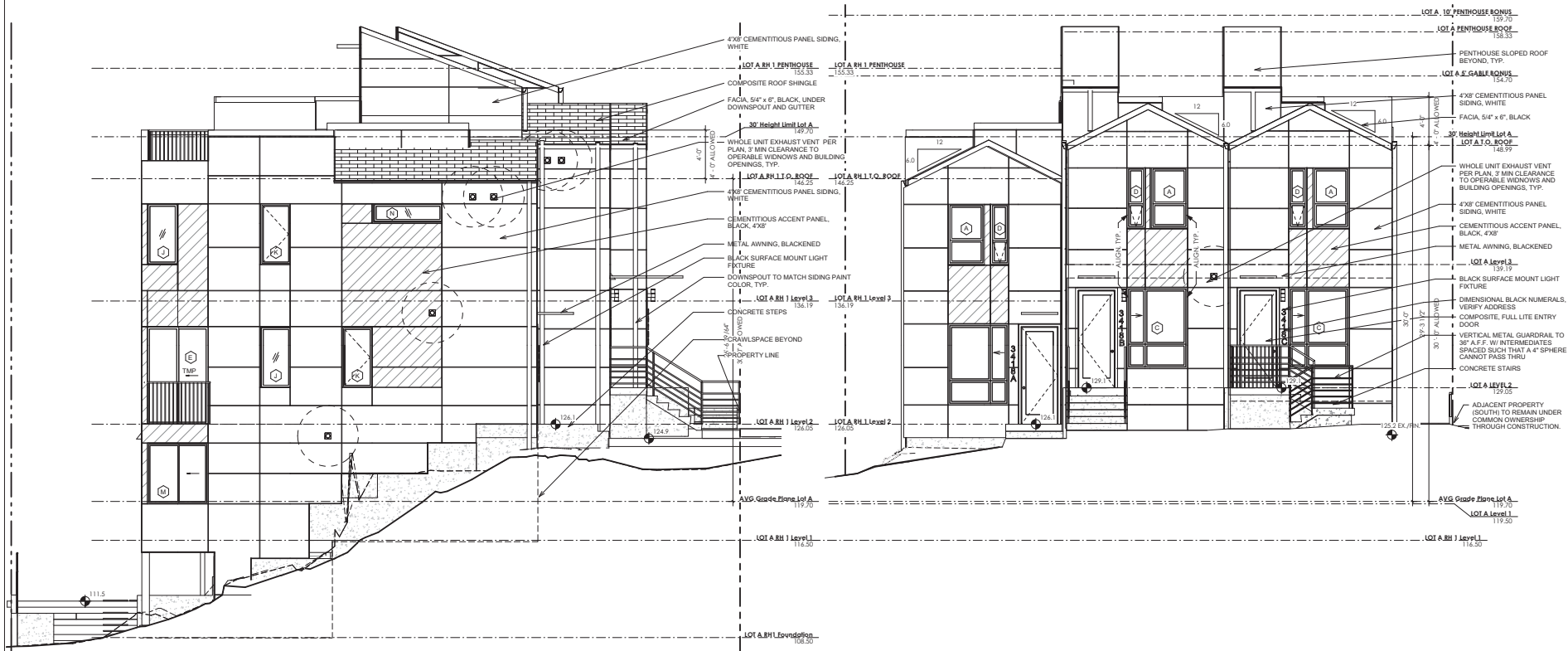
P #		6689292
D.	Date	Description
	10.16.2018	MUP SUBMITTAL
	11.07.2018	BP SUBMITTAL
	05.09.2019	MUP CORRECTIONS 1

ELEVATIONS

scale	1/4" = 1'-0"
date	10/16/2018

A3.1

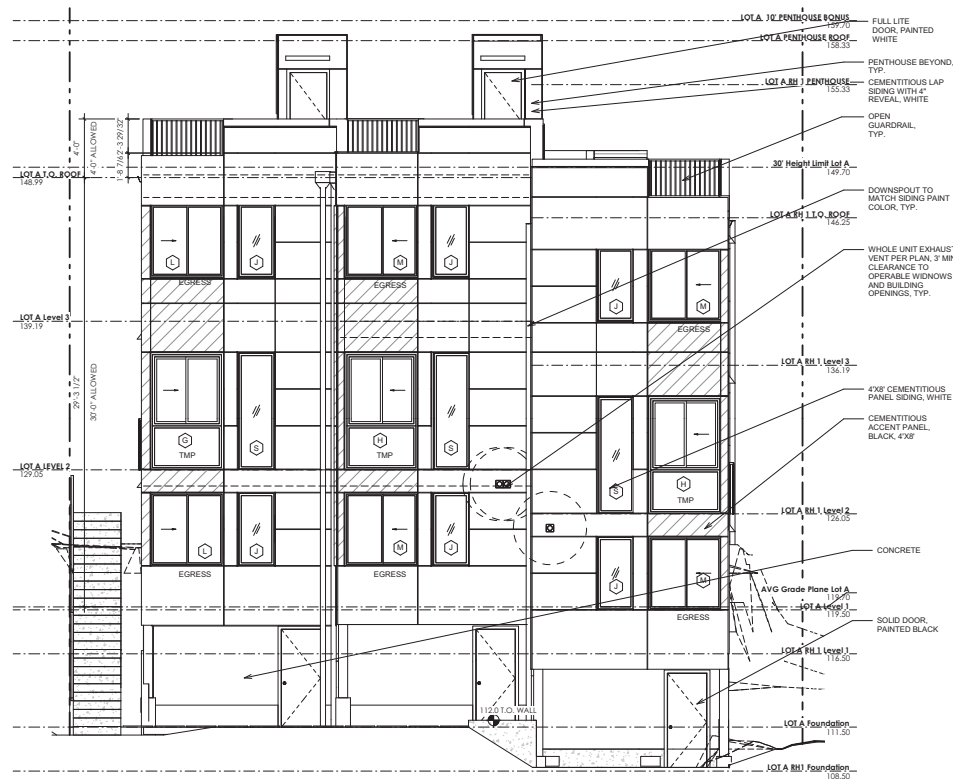
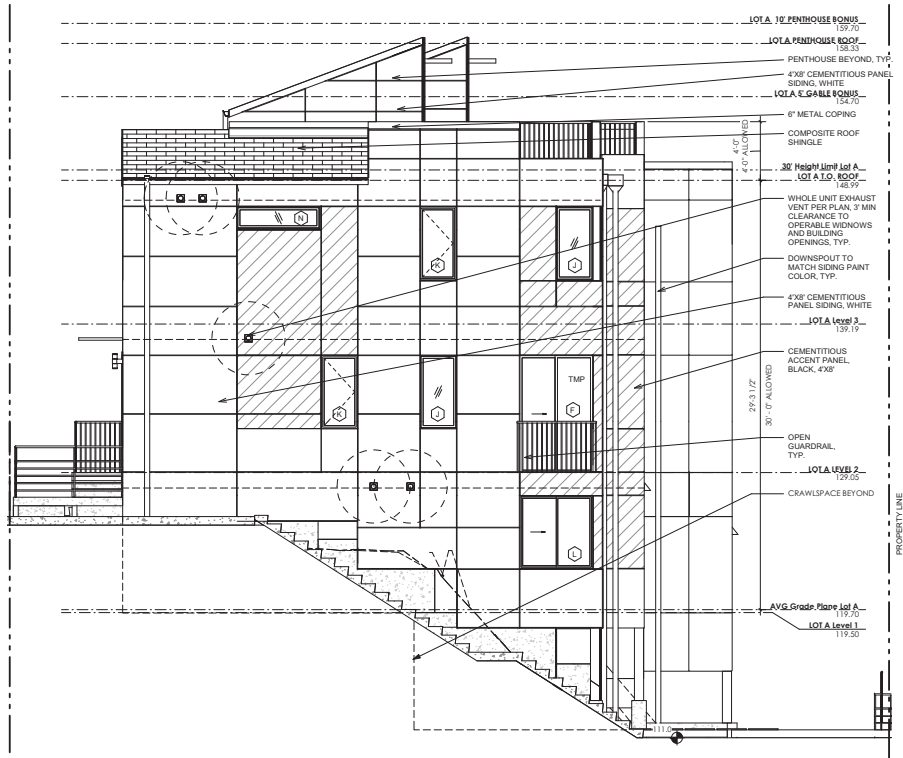
Project Number	JWA#493
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1 Lot A North Elevation
SCALE: 1/4" = 1'-0"

2 Lot A West Elevation
SCALE: 1/4" = 1'-0"

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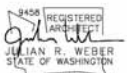


MATERIAL KEY

	CEMENTITIOUS PANEL, WHITE, 4x8'
	CEMENTITIOUS ACCENT PANEL, BLACK, 4x8'
	COMPOSITE ROOF SHINGLE, DARK GREY
	COMPOSITE WOOD PANEL, 4'
	CEMENTITIOUS LAP SIDING WITH 4" REVEAL, WHITE



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BP # 6887292

No.	Date	Description
1	11/07/2018	BP SUBMITTAL
1	03/09/2019	MWP CORRECTIONS 1

ELEVATIONS

Scale 1/4" = 1'-0"
Date 10/14/2018

A3.2

Project Number **JWA0493**

2015 WASHINGTON STATE ENERGY
CODE (WSEC) NOTES

USE SC OPTIONS FROM TABLE 406.2 FOR 1.5 CREDITS

SELECTED OPTION SC: EFFICIENT WATER HEATING, WATER HEATING SYSTEM - TANKLESS
WATER HEATER EF 0.91 OR HIGHER

A RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE COMPLYING WITH R401.3 IS REQUIRED
TO BE COMPLETED BY THE DESIGN PROFESSIONAL OR BUILDER AND PERMANENTLY
POSTED WITHIN 3' OF THE ELECTRICAL PANEL PRIOR TO FINAL INSPECTION. A SAMPLE
CERTIFICATE IS AVAILABLE AT:
http://www.energy.wsu.edu/Documents/WSEC-2012-Avery-6573_2_Per_Sheet.pdf

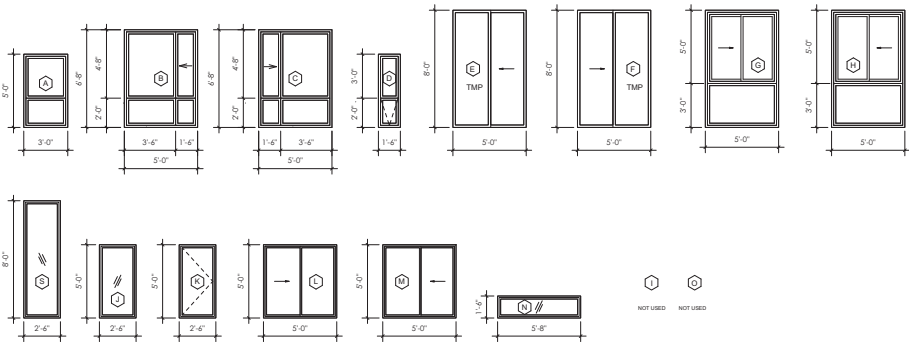
EACH DWELLING UNIT IS REQUIRED TO BE PROVIDED WITH AT LEAST ONE
PROGRAMMABLE THERMOSTAT FOR THE REGULATION OF TEMPERATURE PER WSEC 403.1.1

DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED. DUCT LEAKAGE SHALL BE
LEAK TESTED IN ACCORDANCE WITH WSU RS-33 PER WSEC 403.2.2.

MECHANICAL SYSTEM PIPING CABLE OF CARRYING FLUIDS ABOVE 100 DEGREES
FAHRENHEIT OR BELOW 55 DEGREES FAHRENHEIT SHALL BE INSULATED TO A MINIMUM OF
R-6 PER WSEC R403.3.

A MINIMUM OF 75 PERCENT OF PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES
SHALL BE HIGH-EFFICACY PER WSEC R404.1.

ALL NEW FENESTRATION TO BE NFRC CERTIFIED.



1 GLAZING KEY
SCALE: 1/4" = 1'-0"

NOTE: ALL FENESTRATION TO BE NFRC CERTIFIED. ALL U-VALUES SHOWN AS DEFAULT PER TABLE R301.1.3.

GLAZING SCHEDULE - RH1										
Type Mark	Family and Type	Count	Location	Width	Height	U (BTU/h (F ²))	Area	UA	Comments	
A	Split Vertical: 3050	1		5'-0"	5'-0"	0.28	15.0 SF	4.20		
B	Split - Two by Two: 5068 R	1	kitchen	5'-0"	6'-6"	0.28	33.3 SF	9.33	TMP	
D	Split Vertical: 1450 Casement	1		1'-4"	5'-0"	0.28	7.5 SF	2.10		
H	Split Vertical: 5080	1	bed 2	5'-0"	8'-0"	0.28	40.0 SF	11.20	TMP	
J	Fixed: 2650	1	bed 2	2'-4"	5'-0"	0.28	12.5 SF	3.50	TMP	
J	Fixed: 2650	1	living/dining	2'-4"	5'-0"	0.28	12.5 SF	3.50		
J	Fixed: 2650	2	m.bed	2'-4"	5'-0"	0.28	25.0 SF	7.00		
		4					50.0 SF	14.00		
K	Casement: 2650 WN R	1	living/dining	2'-4"	5'-0"	0.28	12.5 SF	3.50		
K	Casement: 2650 WN R	2	m.bed	2'-4"	5'-0"	0.28	25.0 SF	7.00		
M	Slider - Left Handed: 5050	2	bed 2	5'-0"	5'-0"	0.28	50.0 SF	14.00		
M	Slider - Left Handed: 5050	1	bed 2	5'-0"	5'-0"	0.28	25.0 SF	7.00	EGRESS	
M	Slider - Left Handed: 5050	1	m.bed	5'-0"	5'-0"	0.28	25.0 SF	7.00	EGRESS	
		4					100.0 SF	28.00		
N	Fixed: 5816 WN	1	w.l.c.	5'-8"	1'-4"	0.28	8.5 SF	2.38		
S	Fixed: 2680	1	living/dining	2'-4"	8'-0"	0.28	20.0 SF	5.60		
		1					20.0 SF	5.60		
	Sum of Vertical Fenestration Area and UA	16					299.3 SF	83.81		

GLAZING SCHEDULE - RH2										
Type Mark	Family and Type	Count	Location	Width	Height	U (BTU/h (F ²))	Area	UA	Comments	
A	Split Vertical: 3050	1	m.bath	5'-0"	5'-0"	0.28	15.0 SF	4.20		
C	Split - Two by Two: 5068	1	kitchen	5'-0"	6'-6"	0.28	33.3 SF	9.33	TMP	
D	Split Vertical: 1450 Casement	1	m.bath	1'-4"	5'-0"	0.28	7.5 SF	2.10		
H	Split Vertical: 5080	1	bed 2	5'-0"	8'-0"	0.28	40.0 SF	11.20	TMP	
J	Fixed: 2650	1	bed 2	2'-4"	5'-0"	0.28	12.5 SF	3.50	TMP	
J	Fixed: 2650	1	m.bed	2'-4"	5'-0"	0.28	12.5 SF	3.50		
		2					25.0 SF	7.00		
M	Slider - Left Handed: 5050	1	bed 2	5'-0"	5'-0"	0.28	25.0 SF	7.00	EGRESS	
M	Slider - Left Handed: 5050	1	m.bed	5'-0"	5'-0"	0.28	25.0 SF	7.00	EGRESS	
		2					50.0 SF	14.00		
S	Fixed: 2680	1	living/dining	2'-4"	8'-0"	0.28	20.0 SF	5.60		
		1					20.0 SF	5.60		
	Sum of Vertical Fenestration Area and UA	9					190.8 SF	53.43		

GLAZING SCHEDULE - RH3										
Type Mark	Family and Type	Count	Location	Width	Height	U (BTU/h (F ²))	Area	UA	Comments	
A	Split Vertical: 3050	1	m.bath	5'-0"	5'-0"	0.28	15.0 SF	4.20		
C	Split - Two by Two: 5068	1	kitchen	5'-0"	6'-6"	0.28	33.3 SF	9.33	TMP	
D	Split Vertical: 1450 Casement	1	m.bath	1'-4"	5'-0"	0.28	7.5 SF	2.10		
G	Split Vertical: 5080 L	1	bed 2	5'-0"	8'-0"	0.28	40.0 SF	11.20	TMP	
J	Fixed: 2650	1	living/dining	2'-4"	5'-0"	0.28	12.5 SF	3.50		
J	Fixed: 2650	2	m.bed	2'-4"	5'-0"	0.28	25.0 SF	7.00		
J	Fixed: 2650	1	bed 2	2'-4"	5'-0"	0.28	12.5 SF	3.50	TMP	
		4					50.0 SF	14.00		
K	Casement: 2650 WN R	1	living/dining	2'-4"	5'-0"	0.28	12.5 SF	3.50		
K	Casement: 2650 WN R	2	m.bed	2'-4"	5'-0"	0.28	25.0 SF	7.00		
L	Slider - Right Handed: 5050	1	m.bed	5'-0"	5'-0"	0.28	25.0 SF	7.00	EGRESS	
L	Slider - Right Handed: 5050	1	bed 2	5'-0"	5'-0"	0.28	25.0 SF	7.00	EGRESS	
		3					75.0 SF	21.00		
N	Fixed: 5816 WN	1	w.l.c.	5'-8"	1'-4"	0.28	8.5 SF	2.38		
S	Fixed: 2680	1	living/dining	2'-4"	8'-0"	0.28	20.0 SF	5.60		
		1					20.0 SF	5.60		
	Sum of Vertical Fenestration Area and UA	15					274.3 SF	76.81		

SLIDING DOOR SCHEDULE - RH 1										
Type Mark	Family and Type	Count	Location	Width	Height	U (BTU/h (F ²))	Area	UA	Comments	
E	Door Exterior Sliding, not transom: SLIDER 5080 LEFT	1	living/dining	5'-0"	8'-0"	0.30	40.0 SF	12.0	TMP	
	Sum of Sliding Door Area and UA	1					40.0 SF	12.0		

SLIDING DOOR SCHEDULE - RH 3										
Type Mark	Family and Type	Count	Location	Width	Height	U (BTU/h (F ²))	Area	UA	Comments	
F	Door Exterior Sliding, not transom: SLIDER 5080 RIGHT	1	living/dining	5'-0"	8'-0"	0.30	40.0 SF	12.0	TMP	
	Sum of Sliding Door Area and UA	1					40.0 SF	12.0		

TOTAL WINDOW COUNT					
Type Mark	Family and Type	Count			
A	Split Vertical: 3050	3			
B	Split - Two by Two: 5068 R	1			
C	Split - Two by Two: 5068	2			
D	Split Vertical: 1450 Casement	3			
G	Split Vertical: 5080 L	1			
H	Split Vertical: 5080	2			
I	Opening, Crawlspace Vent	16			
J	Fixed: 2650	10			
K	Casement: 2650 WN R	4			
L	Slider - Right Handed: 5050	3			
M	Slider - Left Handed: 5050	6			
N	Fixed: 5816 WN	2			
R	Fixed: 1480	1			
S	Fixed: 2680	3			
	Sum of Vertical Fenestration Area and UA	57			



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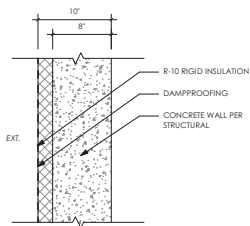
BP # 6687292

No.	Date	Description
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11.07.2018		BP SUBMITTAL
05.09.2019		MUP CORRECTIONS 1

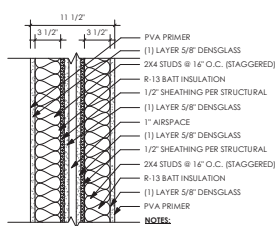
GLAZING
SCHEDULE &
WSEC NOTES

Scale 1/4" = 1'-0"
Date 10/14/2018

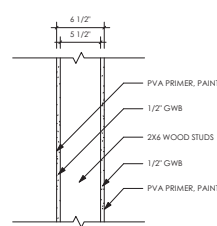
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Project Number JWA0493



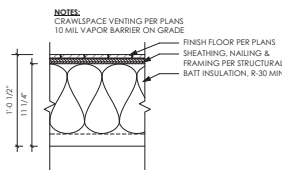
W1 BELOW GRADE WALL



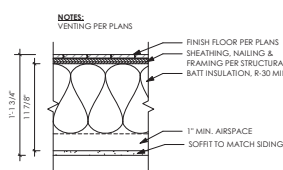
W2 (2) 1 HR PARTY WALL



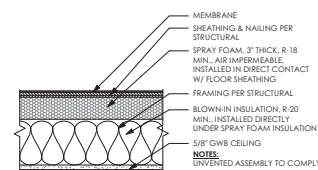
W3 INTERIOR WALL 2X4



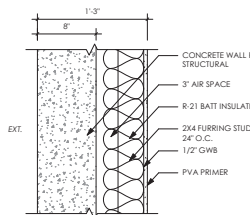
F1 FLOOR OVER CRAWLSPACE



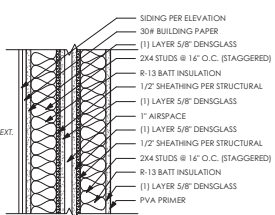
F2 CANTILEVERED FLOOR



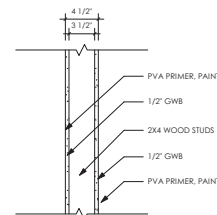
F3 2x10 UNVENTED - SPRAY + BATT



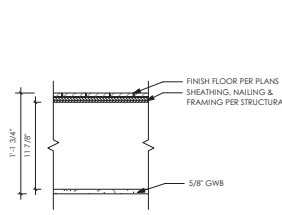
W4 BELOW GRADE FURRED WALL



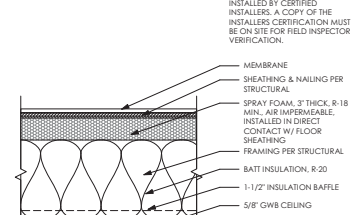
W5 (2) 1 HR PARTY WALL EXTERIOR



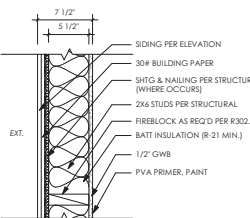
W6 INTERIOR WALL 2X4



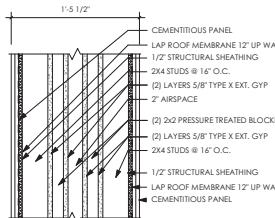
F4 UPPER FLOOR



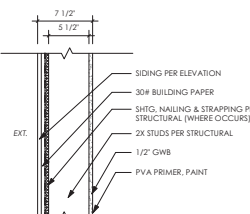
F5 TRUSS PITCHED UNVENTED - RIGID



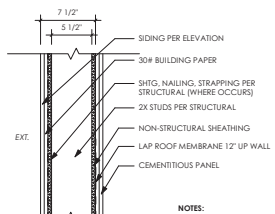
W7 EXTERIOR WALL



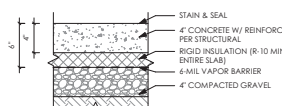
W8 (2) 1 HR PARAPET PARTY WALL



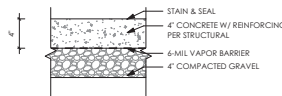
W9 UNINSULATED EXTERIOR WALL



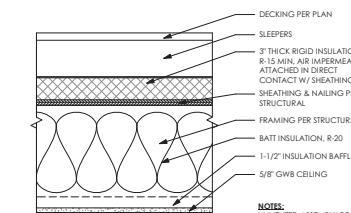
W10 PARAPET WALL



F6 SLAB ON GRADE - INSULATED



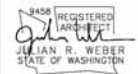
F7 SLAB ON GRADE @ GARAGE



F8 TRUSS FLAT UNVENTED - RIGID WITH DECKING



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Seattle, WA 98199

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BP # 6887292

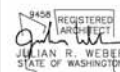
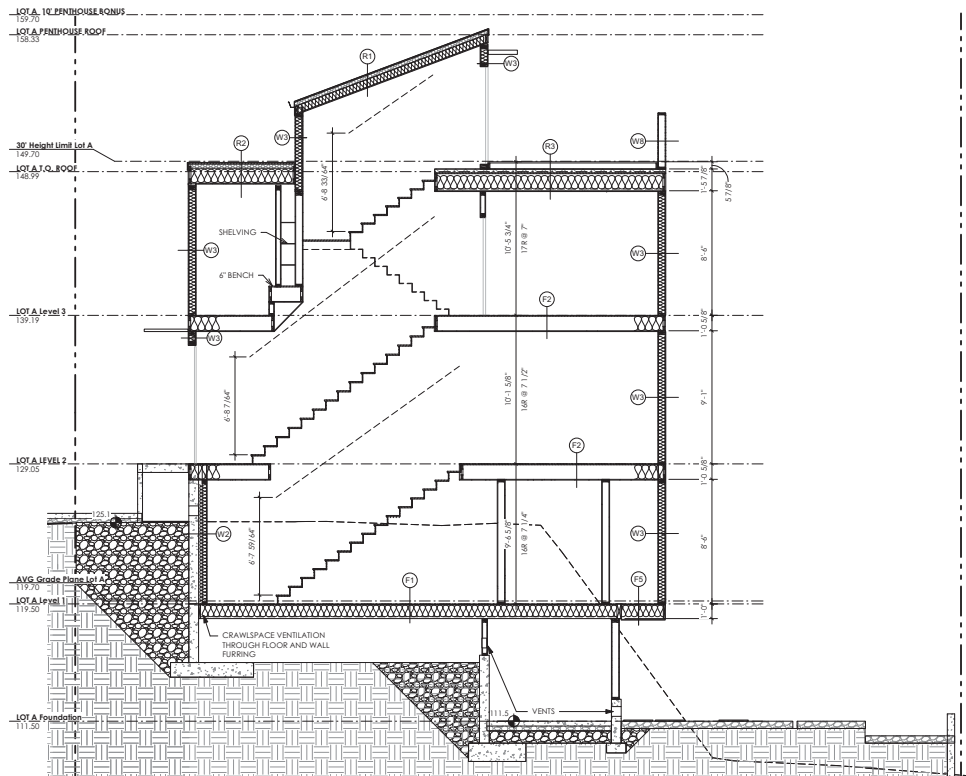
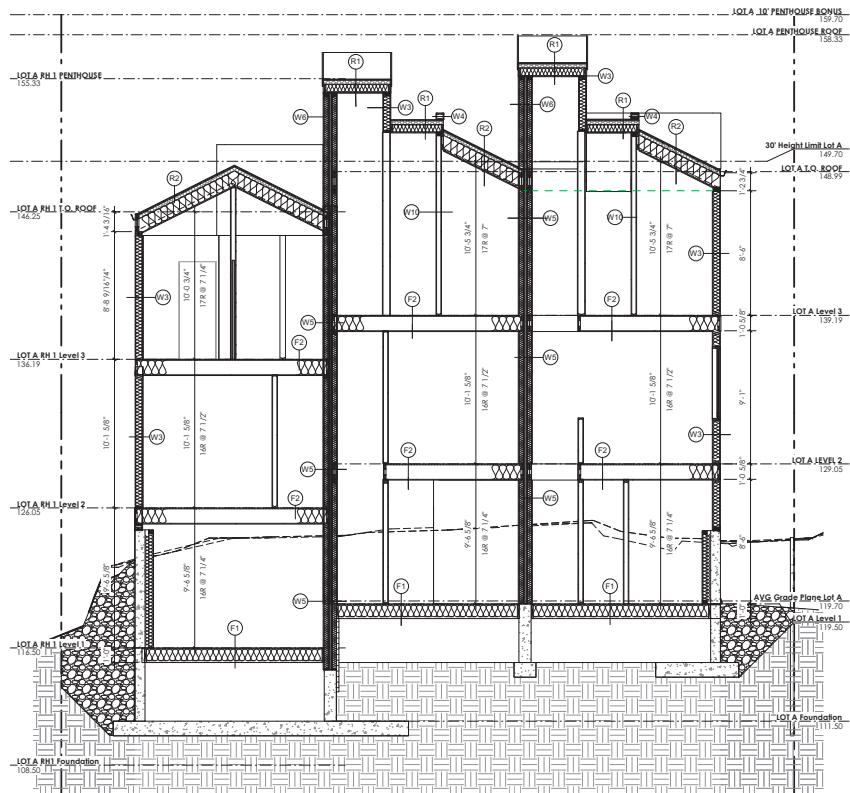
No.	Date	Description
10.14.2018	10/14/2018	WSP SUBMITTAL
11.07.2018	11/07/2018	BP SUBMITTAL

ASSEMBLIES

Scale 1/16" = 1'-0"
Date 10/14/2018

A4.1

Project Number JWA0493



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[illegible]BUILDING
SECTIONS

Scale	1/4" = 1'-0"
Date	10/16/2011

A4.2

Project Number	JWA#49
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