

**CITY OF SEATTLE
ANALYSIS AND DECISION OF THE DIRECTOR OF
THE SEATTLE DEPARTMENT OF CONSTRUCTION AND INSPECTIONS**

Project Number: 3032833-LU
Applicant Name: Andy McAndrews, Terrane, Inc
Address of Proposal: 3410 23rd Ave W

SUMMARY OF PROPOSED ACTION

Land Use Application to subdivide one parcel into two parcels of land. Existing building to be demolished.

The following approvals are required:

Short Subdivision - to create two parcels of land. (Chapter 23.24, Seattle Municipal Code).

SITE AND VICINITY

Site Zone: Lowrise 1 (LR-1)

Nearby Zones: (North) LR-1
 (South) LR-1
 (East) LR-1
 (West) LR-1

Environmental Critical Areas: Steep Slope
 Potential Slide Area

Project Area: 5,999 square feet (sq. ft.)



The top of this image is north.
 This map is for illustrative purposes only.
 In the event of omissions, errors or differences, the
 documents in SDCI's file will control.

BACKGROUND

The site was granted Relief on Steep Slope Development by the SDCI Geotechnical Engineer on December 5, 2018

SMC 25.09.090.B. Approved Relief from Prohibition on Steep Slope Development.

[Environmentally Critical Areas (ECA) review is required for this project.] Based on a review of the City GIS system and submitted information, SDCI concludes that steep slope critical areas on and adjacent to the subject property appear to be created by previous legal grading activities associated with site development. Consequently, this project qualifies for Relief from Prohibition

APPEAL ATTACHMENT 'A'

on Steep Slope Development per SMC 25.09.090.B2b. No Steep Slope Area Variance is required for permit applications. Except as described herein, the remaining ECA Regulations will apply.

Public Comment:

The public comment period ended on November 5, 2018. Comments were received and carefully considered, to the extent that they raised issues within the scope of this review. These areas of public comment related to concerns about exceptional trees in the street right-of-way, non-compliance with housing density limits, and over-development on designated potential ECA slide areas. Other comments pertained to concerns about not enough parking being provided for the subsequent development projects, renters not knowing that their buildings will be demolished, and concerns that alley paving located behind adjacent properties could be impacted as a result of future development.

I. ANALYSIS – SUBDIVISION

General short subdivision standards: Pursuant to SMC 23.24.040, the Director shall, after conferring with appropriate officials, use the following criteria to determine whether to grant, condition, or deny a short plat:

1. *Conformance to the applicable Land Use Code provisions, as modified by this chapter;*
2. *Adequacy of access for pedestrians, vehicles, utilities and fire protection as provided in Section 23.53.005, Access to lots, and Section 23.53.006, Pedestrian access and circulation;*
3. *Adequacy of drainage, water supply and sanitary sewage disposal;*
4. *Whether the public use and interests are served by permitting the proposed division of land;*
5. *Conformance to the applicable provisions of Section 25.09.240, Short subdivisions and subdivisions, in environmentally critical areas;*
6. *Whether the proposed division of land is designed to maximize the retention of existing trees;*
7. *Conformance to the provisions of Section 23.24.045, Unit lot subdivisions, when the short subdivision is for the purpose of creating separate lots of record for the construction and/or transfer of title of single-family dwelling units, townhouse, rowhouse, cottage housing developments, and existing apartment structures built prior to January 1, 2013, but not individual apartment units or any combination of the above types of residential development, as permitted in the applicable zones; and;*
8. *Every lot except unit lots and lots proposed to be platted for individual live-work units in zones where live-work units are permitted, shall conform to the following standards for lot configuration, unless a special exception is authorized under subsection 23.24.040.B:*
 - a. *If a lot is proposed with street frontage, then one lot line shall abut the street for at least 10 feet; and*

- b. *No lot shall be less than 10 feet wide for a distance of more than 10 feet as measured at any point; and*
- c. *No proposed lot shall have more than six separate lot lines. The lot lines shall be straight lines, unless the irregularly shaped lot line is caused by an existing right-of-way or an existing lot line; and*
- d. *If the property proposed for subdivision is adjacent to an alley, and the adjacent alley is either improved or required to be improved according to the standards of Section 23.53.030, then no new lot shall be proposed that does not provide alley access, except that access from a street to an existing use or structure is not required to be changed to alley access. Proposed new lots shall either have sufficient frontage on the alley to meet access standards for the zone in which the property is located or provide an access easement from the proposed new lot or lots to the alley that meets access standards for the zone in which the property is located.*

Conclusion

Based on information provided by the applicant, referral comments from SDCI and other City Departments, and review and analysis by the Land Use Planner, the above criteria have been met. The short subdivision meets all minimum standards or applicable exceptions set forth in the Land Use Code. This short subdivision will provide pedestrian and vehicular access (including emergency vehicles), and public and private utilities. Adequate provisions for drainage control, water supply and sanitary sewage disposal will be provided for each lot and service is assured, subject to standard conditions governing utility extensions. The short plat application has been reviewed by Seattle Public Utilities and a *Water Availability Certificate* (WAC) was issued on October 24, 2018 (WAC ID No. 20181384). The site is not subject to the provisions of Section 25.09.240 since it is not located in a riparian corridor, wetland, wetland buffer, or steep slope area. Each of the proposed lots will meet the criterion of 23.24.040.A.9, as detailed below. There does not appear to be any reasonable alternative configuration of this plat that would better maximize the retention of trees than the proposed plat.

Future construction will be subject to the provisions of SMC 23.44.008, 25.09.070, 25.11.050 and/or 25.11.060 which sets forth tree planting and exceptional tree protection requirements on single family lots. The public use and interest are served by the proposal since all applicable criteria are met and the proposal creates the potential for additional housing opportunities in the City. SDCI geotechnical engineer has determined that future construction on the upslope lot (Parcel B) should only be allowed if site stabilization is installed on the downslope lot (Parcel A). Therefore, the short plat will be approved with the condition to require a non-appealable site stabilization wall per the provisions of SMC 25.09.080 A and B.

DECISION –SHORT SUBDIVISION

The proposed Short Subdivision is **CONDITIONALLY GRANTED**.

RECOMMENDED CONDITIONS – SHORT SUBDIVISION

For the Life of the Project

1. New construction on the upslope lot (Parcel B) should only be allowed if site stabilization is installed on the downslope lot (Parcel A). Therefore, the short plat will be approved with the condition to require a non-appealable site stabilization wall per description above and per SMC 25.09.080 A & B.

David Landry, AICP, Land Use Planner
Seattle Department of Construction and Inspections

Date: April 29, 2019

DL:rgc
3032833-LU.docx

IMPORTANT INFORMATION FOR ISSUANCE OF YOUR MASTER USE PERMIT

Master Use Permit Expiration and Issuance

The appealable land use decision on your Master Use Permit (MUP) application has now been published. At the conclusion of the appeal period, your permit will be considered "approved for issuance". (If your decision is appealed, your permit will be considered "approved for issuance" on the fourth day following the City Hearing Examiner's decision.) Projects requiring a Council land use action shall be considered "approved for issuance" following the Council's decision.

The "approved for issuance" date marks the beginning of the **three year life** of the MUP approval, whether or not there are outstanding corrections to be made or pre-issuance conditions to be met. The permit must be issued by SDCI within that three years or it will expire and be cancelled (SMC 23-76-028). (Projects with a shoreline component have a **two year life**. Additional information regarding the effective date of shoreline permits may be found at 23.60.074.)

All outstanding corrections must be made, any pre-issuance conditions met and all outstanding fees paid before the permit is issued. You will be notified when your permit has issued.

Questions regarding the issuance and expiration of your permit may be addressed to the Public Resource Center at prc@seattle.gov or to our message line at 206-684-8467.



January 17, 2019

NOTICE OF APPLICATION

Seattle Department of Construction and Inspections (SDCI) is currently reviewing the Master Use Permit application described below.

Area: Magnolia/Queen Anne
Address: 3410 23RD AVE W
Record: 3032940-LU
Zone: LR1

Contact: JULIAN WEBER – (206) 953-1305
Planner: Michael Houston - (206) 727-3885

Date of Application: 12/10/18
Date Application Deemed Complete: 1/9/19

Land Use Application to allow 3-story, 3-unit rowhouse building. Parking for 3 vehicles proposed. Existing building to be demolished. To be considered with 3032876-LU for parking and access.

Comments may be submitted through: January 30, 2019

The following approvals are required:

SEPA Environmental Determination (This project is subject to the Optional DNS Process (WAC 197-11-355) and Early DNS Process (SMC 25.05.355). This comment period may be the only opportunity to comment on the environmental impacts of this proposal.

Other permits that may be needed which are not included in this application:
Building Permit

Your written comments are encouraged and should be submitted to:

PRC@seattle.gov
Seattle Department of Construction and Inspections
ATTN: Public Resource Center
PO Box 34019
Seattle, Washington 98124-4019
FAX (206) 233-7901

Commenters providing an email address or return US mail address will be sent notice of any public meetings or hearings and notice of the SDCI decision with information on the right to appeal. All correspondence will be posted to our electronic library.

Applications requiring shoreline approvals are subject to an initial 30-day comment period. All other land use approvals listed below are subject to an initial 14-day comment period. A 14 day comment period may be extended an additional 14 days provided a written request to extend the comment period is received by this Department within the initial 14-day comment period as published in this bulletin. Any comments filed after the end of the official comment period may be considered if pertinent to the review being conducted.

The project file, including application plans, environmental documentation and other additional information related to the project, is available in our electronic library at [Seattle Services Portal](#). Public computers, to view these files, are available at the SDCI Public Resource Center, 700 Fifth Avenue, Suite 2000. The Public Resource Center is open 8:00 a.m. to 4:00 p.m. on Monday, Wednesday, Friday and 10:30 a.m. to 4:00 p.m. on Tuesday and Thursday.

Questions about the projects listed in this bulletin can also be directed to the Public Resource Center at the email and US mail address listed above. To the extent known by the Department, other necessary government approvals or permits not included in the application will also be listed. When a building permit is listed as being necessary, this may include associated electrical, plumbing, mechanical, elevator, and other similar permits.

SDCI is now using the Early Review Determination of Non-significance (DNS) process for all applications requiring a threshold determination when SDCI has reasonable basis to believe that significant adverse impacts are not likely, and the Director expects to issue a DNS for the proposal. The DNS is not final until it is published following consideration of all comments received during the comment period.



The top of this image is north. This map is for illustrative purposes only. In the event of omissions, errors or differences, the documents in SDCI's files will control.

**CITY OF SEATTLE
ANALYSIS AND DECISION OF THE DIRECTOR OF
THE SEATTLE DEPARTMENT OF CONSTRUCTION AND INSPECTIONS**

Project Number: 3032834-LU
Applicant Name: Brooke Friedlander, Mirrah Homes
Address of Proposal: 3416 23rd Ave W

SUMMARY OF PROPOSED ACTION

Land Use Application to subdivide one parcel into two parcels of land.

The following approvals are required:

Short Subdivision - to create two parcels of land. (Chapter 23.24, Seattle Municipal Code).

SITE AND VICINITY

Site Zone: Lowrise 1 (LR-1)

Nearby Zones: (North) LR-1
(South) LR-1
(East) LR-1
(West) LR-1

Environmental Critical Areas: Steep Slope
Potential Slide Area

Project Area: 5,999 square feet (sq. ft.)

BACKGROUND

The site was granted Relief on Steep Slope Development by the SDCI Geotechnical Engineer on December 5, 2018

SMC 25.09.090.B. Approved Relief from Prohibition on Steep Slope Development.

[Environmentally Critical Areas (ECA) review is required for this project.] Based on a review of the City GIS system and submitted information, SDCI concludes that steep slope critical areas on and adjacent to the subject property appear to be created by previous legal grading activities associated with site development. Consequently, this project qualifies for Relief from Prohibition



- c. *No proposed lot shall have more than six separate lot lines. The lot lines shall be straight lines, unless the irregularly shaped lot line is caused by an existing right-of-way or an existing lot line; and*
- d. *If the property proposed for subdivision is adjacent to an alley, and the adjacent alley is either improved or required to be improved according to the standards of Section 23.53.030, then no new lot shall be proposed that does not provide alley access, except that access from a street to an existing use or structure is not required to be changed to alley access. Proposed new lots shall either have sufficient frontage on the alley to meet access standards for the zone in which the property is located or provide an access easement from the proposed new lot or lots to the alley that meets access standards for the zone in which the property is located.*

Conclusion

Based on information provided by the applicant, referral comments from SDCI and other City Departments, and review and analysis by the Land Use Planner, the above criteria have been met. The short subdivision meets all minimum standards or applicable exceptions set forth in the Land Use Code. This short subdivision will provide pedestrian and vehicular access (including emergency vehicles), and public and private utilities. Adequate provisions for drainage control, water supply and sanitary sewage disposal will be provided for each lot and service is assured, subject to standard conditions governing utility extensions. The short plat application has been reviewed by Seattle Public Utilities and a *Water Availability Certificate* (WAC) was issued on October 24, 2018 (WAC ID No. 20181384). The site is not subject to the provisions of Section 25.09.240 since it is not located in a riparian corridor, wetland, wetland buffer, or steep slope area. Each of the proposed lots will meet the criterion of 23.24.040.A.9, as detailed below. There does not appear to be any reasonable alternative configuration of this plat that would better maximize the retention of trees than the proposed plat.

Future construction will be subject to the provisions of SMC 23.44.008, 25.09.070, 25.11.050 and/or 25.11.060 which sets forth tree planting and exceptional tree protection requirements on single family lots. The public use and interest are served by the proposal since all applicable criteria are met and the proposal creates the potential for additional housing opportunities in the City. SDCI geotechnical engineer has determined that future construction on the upslope lot (Parcel B) should only be allowed if site stabilization is installed on the downslope lot (Parcel A). Therefore, the short plat will be approved with the condition to require a non-appealable site stabilization wall per the provisions of SMC 25.09.080 A and B.

DECISION –SHORT SUBDIVISION

The proposed Short Subdivision is **CONDITIONALLY GRANTED**.

RECOMMENDED CONDITIONS – SHORT SUBDIVISION

For the Life of the Project

1. New construction on the upslope lot (Parcel B) should only be allowed if site stabilization is installed on the downslope lot (Parcel A). Therefore, the short plat will be approved with the condition to require a non-appealable site stabilization wall per description above and per SMC 25.09.080 A & B.

David Landry, AICP, Land Use Planner
Seattle Department of Construction and Inspections

Date: April 29, 2019

DL:rgc
3032834-LU.docx

IMPORTANT INFORMATION FOR ISSUANCE OF YOUR MASTER USE PERMIT

Master Use Permit Expiration and Issuance

The appealable land use decision on your Master Use Permit (MUP) application has now been published. At the conclusion of the appeal period, your permit will be considered "approved for issuance". (If your decision is appealed, your permit will be considered "approved for issuance" on the fourth day following the City Hearing Examiner's decision.) Projects requiring a Council land use action shall be considered "approved for issuance" following the Council's decision.

The "approved for issuance" date marks the beginning of the **three year life** of the MUP approval, whether or not there are outstanding corrections to be made or pre-issuance conditions to be met. The permit must be issued by SDCI within that three years or it will expire and be cancelled (SMC 23-76-028). (Projects with a shoreline component have a **two year life**. Additional information regarding the effective date of shoreline permits may be found at 23.60.074.)

All outstanding corrections must be made, any pre-issuance conditions met and all outstanding fees paid before the permit is issued. You will be notified when your permit has issued.

Questions regarding the issuance and expiration of your permit may be addressed to the Public Resource Center at prc@seattle.gov or to our message line at 206-684-8467.

December 3, 2018

NOTICE OF APPLICATION

Seattle Department of Construction and Inspections (SDCI) is currently reviewing the Master Use Permit application described below.

Area: MAGNOLIA/QUEEN ANNE
Address: 3418 23RD AVE W
Record: 3032877-LU
Zone: LR1
Contact: JULIAN WEBER - (206) 953-1305
Planner: CARLY GUILLORY - (206) 684-0720

Date of Application: 10/25/2018
Date Application Deemed Complete: 10/25/2018

Land Use Application to allow a 3-story, 3-unit rowhouse building. Parking for 3 vehicles proposed. Existing building to be demolished. Review includes future unit lot subdivision. To be considered with project #3032671-LU for shared access.

Comments may be submitted through: 12/17/2018

The following approvals are required:

SEPA Environmental Determination - (This project is subject to the Optional DNS Process (WAC 197-11-355) and Early DNS Process (SMC 25.05.355). This comment period may be the only opportunity to comment on the environmental impacts of this proposal.

Other permits that may be needed which are not included in this application:

Building Permit
Demolition Permit

Your written comments are encouraged and should be submitted to:

PRC@seattle.gov
 Seattle Department of Construction and Inspections
 ATTN: Public Resource Center
 PO Box 34019
 Seattle, Washington 98124-4019
 FAX (206) 233-7901

Commenters providing an email address or return US mail address will be sent notice of any public meetings or hearings and notice of the SDCI decision with information on the right to appeal. All correspondence will be posted to our electronic library.

Applications requiring shoreline approvals are subject to an initial 30-day comment period. All other land use approvals listed below are subject to an initial 14-day comment period. A 14 day comment period may be extended an additional 14 days provided a written request to extend the comment period is received by this Department within the initial 14-day comment period as published in this bulletin. Any comments filed after the end of the official comment period may be considered if pertinent to the review being conducted.

The project file, including application plans, environmental documentation and other additional information related to the project, is available in our electronic library at [Seattle Services Portal](#). Public computers, to view these files, are available at the SDCI Public Resource Center, 700 Fifth Avenue, Suite 2000. The Public Resource Center is open 8:00 a.m. to 4:00 p.m. on Monday, Wednesday, Friday and 10:30 a.m. to 4:00 p.m. on Tuesday and Thursday.

Questions about the projects listed in this bulletin can also be directed to the Public Resource Center at the email and US mail address listed above. To the extent known by the Department, other necessary government approvals or permits not included in the application will also be listed. When a building permit is listed as being necessary, this may include associated electrical, plumbing, mechanical, elevator, and other similar permits.



The top of this image is north. This map is for illustrative purposes only. In the event of omissions, errors or differences, the documents in SDCI's files will control.

SDCI is now using the Early Review Determination of Non-significance (DNS) process for all applications requiring a threshold determination when SDCI has reasonable basis to believe that significant adverse impacts are not likely, and the Director expects to issue a DNS for the proposal. The DNS is not final until it is published following consideration of all comments received during the comment period.

The comment period for a project subject to an Early Review DNS may be the only opportunity to submit comment on the environmental impacts of the proposal. Mitigation measures may be imposed on projects subject to the Early Review DNS process. After the close of the comment period, SDCI will review any comments and will either issue a DNS followed by an opportunity to appeal, or, if significant environmental impacts are identified, a DS/Scoping notice. Copies of the subsequent threshold determination for the proposal may be obtained upon request or from our electronic library at [Seattle Services Portal](#).

Numbers used in project descriptions are approximations. The final approved plans will control.

Interpretations

A formal decision as to the meaning, application or intent of any development regulation in Title 23 (Land Use Code) or Chapter 25.09 (Regulations for Environmentally Critical Areas) is known as an "interpretation". Examples include questions of how structure height or setback is properly measured, or how a proposed use should be categorized.

Interpretation may be requested by any party during the comment period as determined above. The request must be in writing, and accompanied by a \$3,240.00 minimum fee payable to the City of Seattle (This fee covers the first ten hours of review. Additional hours will be billed at \$324.00.). Interpretations on some issues may also be requested later, during the appeal period, if the project decision is appealed. Failure to request an interpretation can preclude raising the issue on appeal. Questions regarding the interpretation process may be sent to PRC@seattle.gov (please include "Interpretation Information" in the subject line) or by calling the message line at (206) 684-8467. Requests for interpretation may be submitted to the **Seattle Department of Construction and Inspections, Code Interpretation and Implementation Group, 700 5th Av Ste 2000, P.O. Box 34019, Seattle, WA 98124-4019.**



If you wish to file written comments and/or receive a notice of the decision, please return this completed form with any written comments you have to: Seattle Department of Construction and Inspections, 700 5th Ave Ste 2000, PO Box 34019, Seattle, Washington 98124-4019 or e-mail PRC@seattle.gov

Name: _____ Record #3032877-LU – Carly Guillory, 19th Floor

Address: _____

_____ Zip: _____

Email Address: _____

Comment: _____

NOTICE OF APPLICATION

Seattle Department of Construction and Inspections (SDCI) is currently reviewing the Master Use Permit application described below.

Area: MAGNOLIA/QUEEN ANNE
Address: 3414 23RD AVE W
Record: 3032834-LU
Zone: LR1

Contact: BROOK FRIEDLANDER - (206) 383-7095
Planner: ABBY WEBER - (206) 684-7188

Date of Application: 10/16/2018
Date Application Deemed Complete: 10/16/2018

Land Use Application to subdivide one parcel into two parcels of land.

Comments may be submitted through: 11/7/2018

The following approvals are required:

Short Subdivision to create two parcels of land.

Other permits that may be needed which are not included in this application:

Water Availability Certificate

Your written comments are encouraged and should be submitted to:

PRC@seattle.gov
 Seattle Department of Construction and Inspections
 ATTN: Public Resource Center
 PO Box 34019
 Seattle, Washington 98124-4019
 FAX (206) 233-7901

Commenters providing an email address or return US mail address will be sent notice of any public meetings or hearings and notice of the SDCI decision with information on the right to appeal. All correspondence will be posted to our electronic library.

Applications requiring shoreline approvals are subject to an initial 30-day comment period. All other land use approvals listed below are subject to an initial 14-day comment period. A 14 day comment period may be extended an additional 14 days provided a written request to extend the comment period is received by this Department within the initial 14-day comment period as published in this bulletin. Any comments filed after the end of the official comment period may be considered if pertinent to the review being conducted.

The project file, including application plans, environmental documentation and other additional information related to the project, is available in our electronic library at [Seattle Services Portal](#). Public computers, to view these files, are available at the SDCI Public Resource Center, 700 Fifth Avenue, Suite 2000. The Public Resource Center is open 8:00 a.m. to 4:00 p.m. on Monday, Wednesday, Friday and 10:30 a.m. to 4:00 p.m. on Tuesday and Thursday.

Questions about the projects listed in this bulletin can also be directed to the Public Resource Center at the email and US mail address listed above. To the extent known by the Department, other necessary government approvals or permits not included in the application will also be listed. When a building permit is listed as being necessary, this may include associated electrical, plumbing, mechanical, elevator, and other similar permits.

SDCI is now using the Early Review Determination of Non-significance (DNS) process for all applications requiring a threshold determination when SDCI has reasonable basis to believe that significant adverse impacts are not likely, and the Director expects to issue a DNS for the proposal. The DNS is not final until it is published following consideration of all comments received during the comment period.

The comment period for a project subject to an Early Review DNS may be the only opportunity to submit comment on the environmental impacts of the proposal. Mitigation measures may be imposed on projects subject to the Early Review DNS process. After the close of the comment period, SDCI will review any comments and will either issue a DNS followed by an opportunity to appeal, or, if significant environmental impacts are identified, a DS/Scoping notice. Copies of the subsequent threshold determination for the proposal may be obtained upon request or from our electronic library at [Seattle Services Portal](#).

Numbers used in project descriptions are approximations. The final approved plans will control.

Interpretations

A formal decision as to the meaning, application or intent of any development regulation in Title 23 (Land Use Code) or Chapter 25.09 (Regulations for Environmentally Critical Areas) is known as an "interpretation". Examples include questions of how structure height or setback is properly measured, or how a proposed use should be categorized.

Interpretation may be requested by any party during the comment period as determined above. The request must be in writing, and accompanied by a \$3,240.00 minimum fee payable to the City of Seattle. (This fee covers the first ten hours of review. Additional hours will be billed at \$324.00.) Interpretations on some issues may also be requested later, during the appeal period, if the project decision is appealed. Failure to request an interpretation can preclude raising the issue on appeal. Questions regarding the interpretation process may be sent to PRC@seattle.gov (please include "Interpretation Information" in the subject line) or by calling the message line at (206) 684-8467. Requests for interpretation may be submitted to the **Seattle Department of Construction and Inspections, Code Interpretation and Implementation Group, 700 5th Av Ste 2000, P.O. Box 34019, Seattle, WA 98124-4019.**



The top of this image is north. This map is for illustrative purposes only. In the event of omissions, errors or differences, the documents in SDCI's files will control.

Record #3032834-LU -

«ADDRESSEE»
 «ADDRESSEE2»
 «ADDRESS»
 «CITYSTATE» «ZIP»



If you wish to file written comments and/or receive a notice of the decision, please return this completed form with any written comments you have to: Seattle Department of Construction and Inspections, 700 5th Ave Ste 2000, PO Box 34019, Seattle, Washington 98124-4019 or e-mail PRC@seattle.gov

Name: _____ Record #3032834-LU – Abby Weber, 19th Floor _____

Address: _____

_____ Zip: _____

Email Address: _____

Comment: _____

APPEAL ATTACHMENT 'C'

Critical root feeder zone

See 2nd drawing for townhouses at alley Against landuse code SMC 23.83A.032

Mirra 23rd
3420 23RD AVENUE WEST
SEATTLE, WA 98115

PROJECT DESCRIPTION: SEPA REVIEW, DEMO TRUCK, CONSTRUCT (2) ROWHOUSES WITH (2) OPEN PARKING STALLS, FUTURE UNIT LOT SUBDIVISION.

LEGAL DESCRIPTION: GILMANS ADD, PLAT BLOCK 11, PLAT LOT 6

TAX ID NUMBER: 277804170

PROJECT TEAM:

OWNER/APPLICANT:
COLT BOEHME, MIRRA HOMES
1504 8th St NW, Unit 1, Seattle, WA 98107

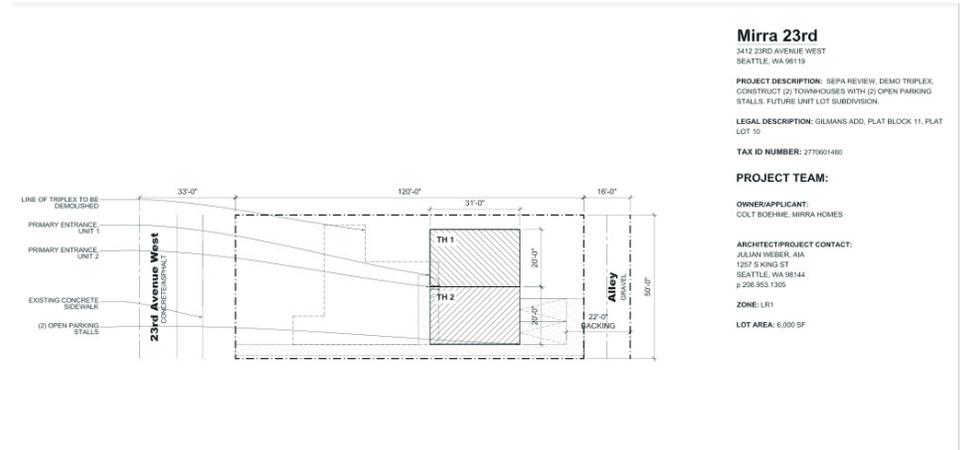
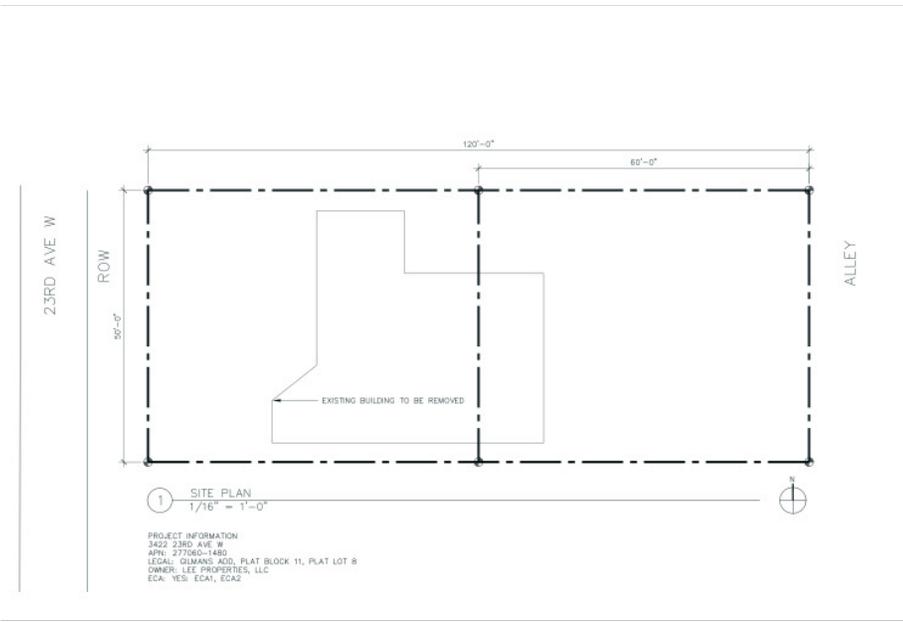
ARCHITECT/PROJECT CONTACT:
ALVIN NEEDS, N/A
1257 S KING ST
SEATTLE, WA 98144
#308.953.1325

ZONE: LR1

LOT AREA: 8,000 SF

3410 – 3416 23rd Ave W Short Plat Subdivisions

OriginalAddress1	OriginalCity
3416 23RD AVE W	
3414 23RD AVE W	
3410 23RD AVE W	
3422 23RD AVE W	
3420 23RD AVE W	
3412 23RD AVE W	



PROJECT DESCRIPTION: SEPA REVIEW, DEMO TRIPLEX, CONSTRUCT (3) ROWHOUSES WITH (3) OPEN PARKING STALLS, FUTURE UNIT LOT SUBDIVISION.

LEGAL DESCRIPTION: GILMANS ADD, PLAT BLOCK 11, PLAT LOT 9

TAX ID NUMBER: 2770601475

PROJECT TEAM:
OWNER/APPLICANT:
COLT BOEHME, MIRRA HOMES

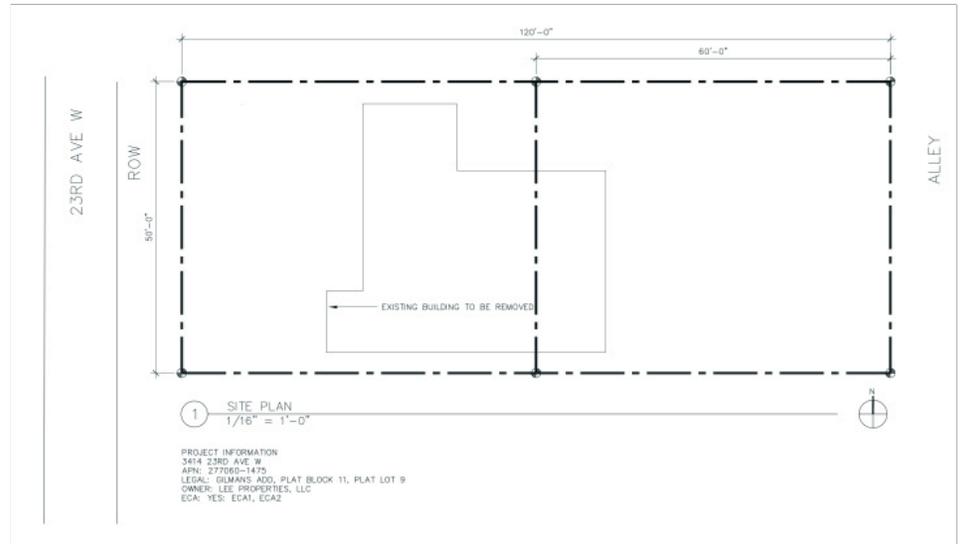
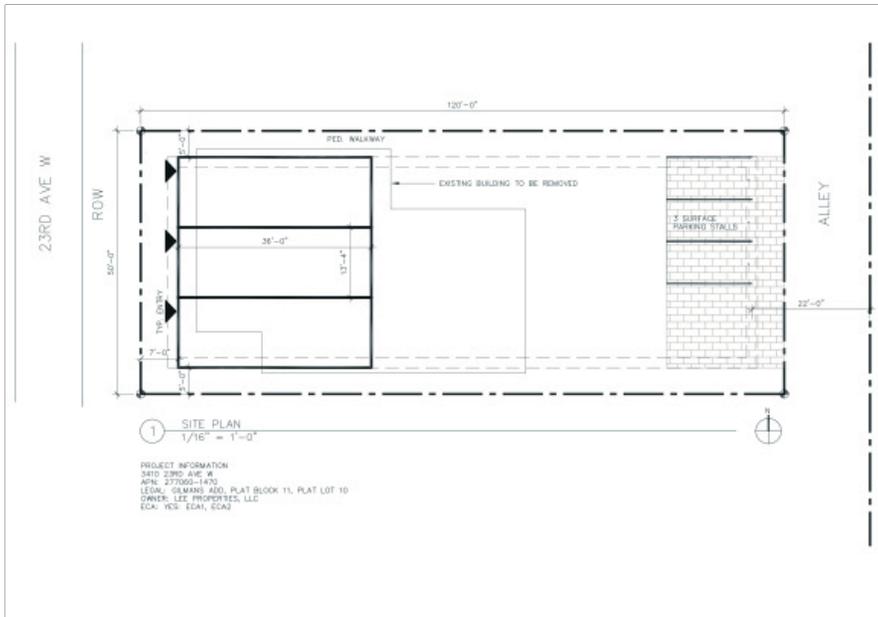
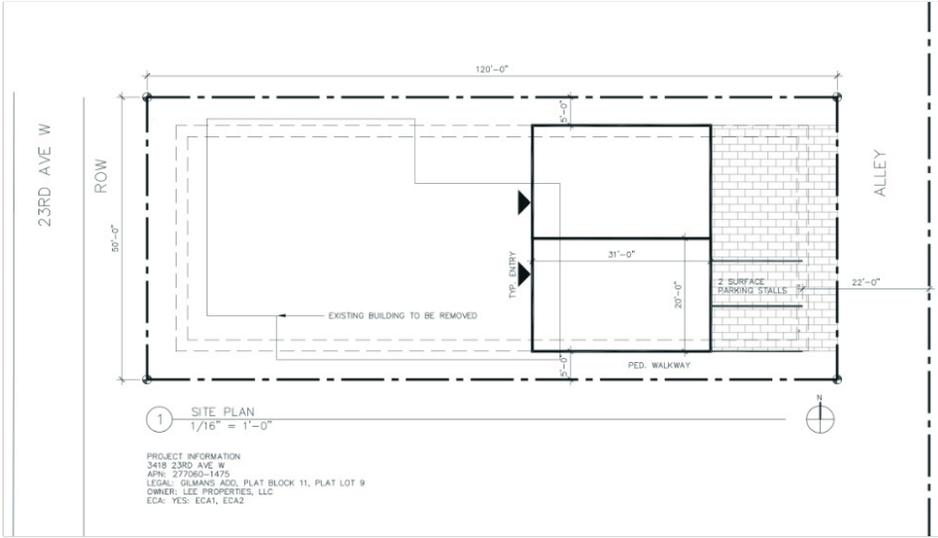
ARCHITECT/PROJECT CONTACT:
JULIAN WEBER, AIA
1257 S KING ST
SEATTLE, WA 98144
p 206.953.1300

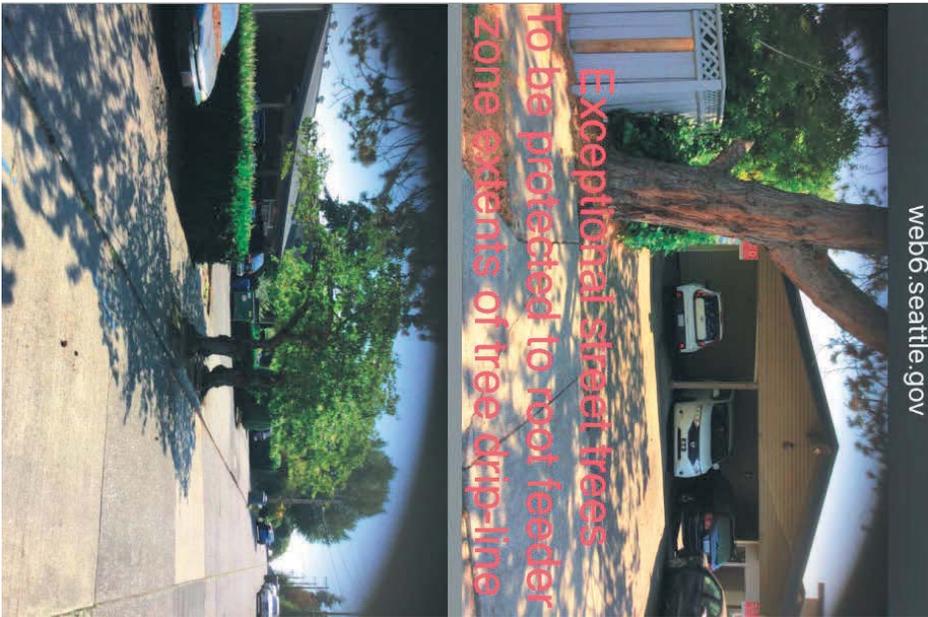
ZONE: LR1
LOT AREA: 6,000 SF

Proposal exceeds allowed by showing 1 dwelling for every 1200 sq ft

Max number of dwellings on a lot within this LR1 zone is 1 for every 2200 sq ft of lot area without an improved alley; or 1 for every 1600 Sq ft with an improved alley

PRELIMINARY SITE PLAN
SCALE: 1" = 20'

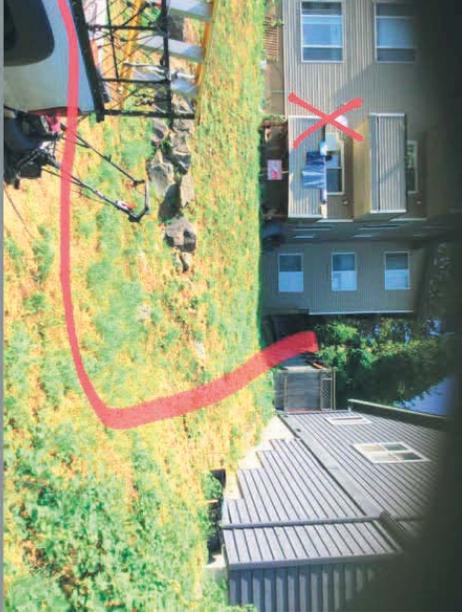




web6.seattle.gov



APPEAL ATTACHMENT 'D'



BROOKE FRIEDLANDER
11624 SE 5TH ST, SUITE 210
BELLEVUE, WA 98005

Re: Project #3032834-LU

Correction Notice #1

Review Type LAND USE	Date December 10, 2018
Project Address 3416 23RD AVE W SEATTLE, WA 98199	Contact Phone (206) 383-7095
Contact Email BROOKE.FRIEDLANDER@MIRRAHOMES.CO	Address Seattle Department of Construction and Inspections
SDCI Reviewer David Landry	700 Fifth Ave
Reviewer Phone (206) 684-5318	Suite 2000
Reviewer Fax	P.O. Box 34019
Reviewer Email David.Landry@seattle.gov	Seattle, WA 98124-4019
Owner BROOKE FRIEDLANDER	

Corrections also apply to Project(s)

Applicant Instructions

Please click on the following link to learn "[How to Respond to a SDCI Correction Notice](#)". If the 3-step process outlined in this document is not followed, there may be a delay in permit issuance and there is a potential for penalty fees.

For instructions on **uploading corrected plans through your portal**, follow this link: [How to Upload a Document to an Existing Permit](#)

Note that you will not be able to upload corrected plans until all reviews are completed and the project's status is "Corrections Required".

Corrections

- 1. Short Subdivision:** Demonstrate that the required development area and access will not encroach into the ECAs or provide evidence of final approval or a request for relief from the prohibition of development in Steep Slopes and their buffers.
- 2. Geotechnical Report:** Provide a copy of the Geotechnical Report that discussed the site's steep area. Provide the total areas located outside of the environmentally critical area and buffer designated for principal structures, temporary site disturbance, accessory structures, utilities, or walkways that might be described in the geotechnical report.
- 3. Water Availability:** Provide a copy of the water availability certificate for the proposal site approved by Seattle Public Utilities (SPU), unless SPU agrees to an alternative arrangement.
- 4. Resolve outstanding Reviews.** I have completed review of your application materials however, I am unable to complete my analysis and decision until all requested materials have been provided and all other review locations have completed their reviews. Once all other reviews are complete, I will be able to prepare the Director's decision unless subsequent analysis shows that further information from you is required.

Project #3032834-LU, Correction Notice #1

JW Architects LTD
1257 S King St
SEATTLE, WA 98144

Re: Project #3032877-LU

Correction Notice #1

Review Type ZONING	Date February 26, 2019
Project Address 3416 23RD AVE W SEATTLE, WA 98199	Contact Phone (206) 953-1305
Contact Email dpd@jwaseattle.com	Address Seattle Department of Construction and Inspections
SDCI Reviewer Sonja Brown	700 Fifth Ave
Reviewer Phone (206) 733-9682	Suite 2000
Reviewer Fax	P.O. Box 34019
Reviewer Email Sonja.Brown@seattle.gov	Seattle, WA 98124-4019
Owner Colt Boehme	

Corrections also apply to Project(s) 6689291-CN

Applicant Instructions

Please click on the following link to learn "[How to Respond to a SDCI Correction Notice](#)". If the 3-step process outlined in this document is not followed, there may be a delay in permit issuance and there is a potential for penalty fees.

For instructions on **uploading corrected plans through your portal**, follow this link: [How to Upload a Document to an Existing Permit](#)

Note that you will not be able to upload corrected plans until all reviews are completed and the project's status is "Corrections Required".

Codes Reviewed

This project has been reviewed for conformance with the applicable development standards of the Land Use Code.

Corrections

- 1. Landscaping:** There appears to be landscaping elements blocking the 5' pedestrian easement being established on Seattle short plat 3032834-LU. Pedestrian access is required. On the landscaping plans, please show this easement area clear of obstructions.
- 2. Commitment letter:** Please complete the [Green Building Standards Commitment Form](#) and include it in the plan set.
- 3. Design standards:** Design standards apply to the new structure. The west façade does not meet the requirements of SMC 23.45.529.C. Please provide at least 20% openings on this street facing façade or detail how the project qualifies for an exception as allowed by SMC 23.45.529.C.3.
- 4. Parking and Access:** (SMC 23.45.536.B.6 & 23.54.025) It appears the project is providing parking stalls on the abutting lot. Please clearly identify required parking stalls based on minimum requirements, and demonstrate compliance to offsite parking covenant requirements, pursuant to 23.54.025.F.

Project #3032877-LU, Correction Notice #1

5. **Curb Cut:** Per SMC 23.54.030.F.6, when a curb cut is no longer needed to provide access to legal parking on a lot, the curb and any planting strip must be replaced. In the building plans, please indicate on the site plan that the existing curb cut along 23rd Ave W is to be removed and the curb restored.

6. **Street Trees:** SMC 23.45.524.B states that street trees are required if any type of development is proposed. No street trees are proposed in your plan. Please reconcile.



JULIAN WEBER
1257 S KING STREET
SEATTLE, WA 98144

Re: Project #3032940-LU

Correction Notice #1

Review Type ZONING

Project Address 3410 23RD AVE W

Contact Email DPD@JWASEATTLE.COM

SDCI Reviewer Sonja Brown

Reviewer Phone (206) 733-9682

Reviewer Fax

Reviewer Email Sonja.Brown@seattle.gov

Owner Lee Properties, LLC

Corrections also apply to Project(s) 6690478-CN

Date March 01, 2019
Contact Phone (206) 953-1305

Address Seattle Department of Construction and Inspections

700 Fifth Ave
Suite 2000
P.O. Box 34019
Seattle, WA 98124-4019

Applicant Instructions

Please click on the following link to learn "[How to Respond to a SDCI Correction Notice](#)". If the 3-step process outlined in this document is not followed, there may be a delay in permit issuance and there is a potential for penalty fees.

For instructions on **uploading corrected plans through your portal**, follow this link: [How to Upload a Document to an Existing Permit](#)

Note that you will not be able to upload corrected plans until all reviews are completed and the project's status is "Corrections Required".

Codes Reviewed

This project has been reviewed for conformance with the applicable development standards of the Land Use Code.

Corrections

- 1. Site Plan.** On sheet A1.0, please place a note that reads, "Existing curbcut and landscape strip to be closed and restored to minimum SDOT standards."
- 2. Parking.** As you are requesting off-site parking for this development proposal, a separate permit will be needed to authorize this parking per SMC 23.54.025. You will need to create a new construction project number in your portal, develop an off-site parking covenant and submit a plan set that shows the location, size and backing out areas of those off-site parking areas. This permit will need to be given final approval prior to the final zoning approval for this construction permit.
- 3. Street Trees.** As you are proposing the required street trees to be within the first 5-feet of your property abutting the right-of-way, those trees must be approved by SDOT Urban Forestry. Please reach out to them and submit any emails or letters stating the type and number of trees required to meet their street tree requirements.
- 4. Short Subdivision.** Short Subdivision #3032833-LU will need to be approved, and recorded, prior to final zoning approval for this construction permit. Once recorded, please replace the existing draft copy in the plan set with a recorded copy.

Project #3032877-LU, Correction Notice #1

Seattle Department of Construction and Inspections

700 Fifth Ave, Suite 2000, P.O. Box 34019, Seattle, WA 98124-4019

An equal employment opportunity, affirmative action employer. Accommodations for people with disabilities provided upon request.

Page 2 of 2

Project #3032940-LU, Correction Notice #1

Seattle Department of Construction and Inspections

700 Fifth Ave, Suite 2000, P.O. Box 34019, Seattle, WA 98124-4019

An equal employment opportunity, affirmative action employer. Accommodations for people with disabilities provided upon request.

Page 1 of 2

5. Floor Area Ratio. I have been unable to confirm that the 138 square foot portion of RH! can be excluded from your FAR totals per 23.45.510(E)(4). The reasons are below:

a. Sheet A3.1, appears to depict that the 4-foot measurement is being taken from existing grade; yet it appears that finished grade (i.e. the steps) are must lower. The 4-foot measurement must be taken from existing or finished grade; whichever is lower. Please clarify.

b. As noted in the code citation, "portions of a story that extend no more than 4-feet above existing or finished grade ...". Per SMC 23.84A, a story extend to the floor of level 2. Based on sheet A3.1, I believe that by altering the 4-foot measurement to reflect the floor above, that you would exceed 4-feet from existing or finished grade; whichever is lower and, therefore; would have to count this 138 square foot area in your chargeable FAR.



City of Seattle
Seattle Department of Construction and Inspections
Applicant Services

LAUREN POWERS
3715 S HUDSON ST, STE 105
SEATTLE, WA 98118

Re: Project #3032876-LU

Correction Notice #1

Review Type ZONING
Project Address 3412 23rd AVE W
Contact Email LP@JWASEATTLE.COM
SDCI Reviewer Sonja Brown
Reviewer Phone (206) 733-9682
Reviewer Fax
Reviewer Email Sonja.Brown@seattle.gov
Owner
Corrections also apply to Project(s)

Date March 01, 2019
Contact Phone (206) 953-1305
Address Seattle Department of Construction and Inspections
700 Fifth Ave
Suite 2000
P.O. Box 34019
Seattle, WA 98124-4019

Applicant Instructions

Please click on the following link to learn "[How to Respond to a SDCI Correction Notice](#)". If the 3-step process outlined in this document is not followed, there may be a delay in permit issuance and there is a potential for penalty fees.

For instructions on **uploading corrected plans through your portal**, follow this link: [How to Upload a Document to an Existing Permit](#)

Note that you will not be able to upload corrected plans until all reviews are completed and the project's status is "Corrections Required".

Codes Reviewed

This project has been reviewed for conformance with the applicable development standards of the Land Use Code.

Corrections

- 1. Commitment letter:** Please complete the [Green Building Standards Commitment Form](#) and include it in the plan set.
- 2. Bicycle Parking:** One bicycle parking space for each dwelling unit is required per Table D for [23.54.015](#), item D.2. No bicycle parking is shown in your plan. Please provide at least two bicycle parking spaces that meets the requirements of SMC 23.54.015.K.
- 3. Height - rooftop features.** (SMC 23.45.514.J.4) The structure appears to be in conformance with the height limit of the underlying zone including the additional 10 feet for stair penthouses above the height limit. However, I can't quite make out how the stair penthouse is functioning. It appears the penthouse only extends 5 feet above the top of roof and the plan are calling out a shed roof which I can't read as currently rendered.
- 4. Master Use Permit:** Currently this site is being reviewed under Seattle Short Plat 3032833-LU. I am unable to approve the Master Use Permit application until after the short plat has been recorded.

Project #3032940-LU, Correction Notice #1

Seattle Department of Construction and Inspections
700 Fifth Ave, Suite 2000, P.O. Box 34019, Seattle, WA 98124-4019
An equal employment opportunity, affirmative action employer. Accommodations for people with disabilities provided upon request.

Project #3032876-LU, Correction Notice #1

Seattle Department of Construction and Inspections
700 Fifth Ave, Suite 2000, P.O. Box 34019, Seattle, WA 98124-4019
An equal employment opportunity, affirmative action employer. Accommodations for people with disabilities provided upon request.

LAUREN POWERS
3715 S HUDSON ST, STE 105
SEATTLE, WA 98118

Re: Project #3032876-LU

Correction Notice #1

Review Type LAND USE
Project Address 3412 23rd AVE W
Contact Email LP@JWASEATTLE.COM
SDCI Reviewer David Landry
Reviewer Phone (206) 684-5318
Reviewer Fax
Reviewer Email David.Landry@seattle.gov
Owner
Corrections also apply to Project(s)

Date April 19, 2019
Contact Phone (206) 953-1305
Address Seattle Department of Construction and Inspections
700 Fifth Ave
Suite 2000
P.O. Box 34019
Seattle, WA 98124-4019

Applicant Instructions

Please click on the following link to learn "[How to Respond to a SDCI Correction Notice](#)". If the 3-step process outlined in this document is not followed, there may be a delay in permit issuance and there is a potential for penalty fees.

For instructions on **uploading corrected plans through your portal**, follow this link: [How to Upload a Document to an Existing Permit](#)

Note that you will not be able to upload corrected plans until all reviews are completed and the project's status is "Corrections Required".

Corrections

1. CONDITIONS – SHORT SUBDIVISION: As a condition of approval, new construction on the upslope lot (Parcel B) should only be allowed if site stabilization is installed on the downslope lot (Parcel A), per SMC 25.09.080. Please provide information in the way of written discussion and elevation drawings demonstrating how the stabilization (wall) will relate to the 26" Douglas fir (P. menziesii) located on the adjacent property along the southern property line and steps taken to preserved its integrity as an exceptional tree.

2. Resolve outstanding Reviews. I have completed review of your application materials and do not need additional or corrected information from you at this time. However, I am unable to complete my analysis and decision until all of the other review locations have approved your project. Once all other reviews are complete, I will be able to prepare the Director's decision unless subsequent analysis shows that further information from you is required.

Project #3032876-LU, Correction Notice #1

BROOKE FRIEDLANDER
11624 SE 5TH ST, SUITE 210
BELLEVUE, WA 98005

Re: Project #3032878-LU

Correction Notice #1

Review Type ZONING
Project Address 3422 23RD AVE W
SEATTLE, WA 98199
Contact Email BROOKE.FRIEDLANDER@MIRRAHOMES.CO
SDCI Reviewer Bradley K Wilburn
Reviewer Phone (206) 615-0508
Reviewer Fax
Reviewer Email Bradley.Wilburn@Seattle.Gov
Owner Colt Boehme
Corrections also apply to Project(s)

Date February 17, 2019
Contact Phone (206) 383-7095
Address Seattle Department of Construction and Inspections
700 Fifth Ave
Suite 2000
P.O. Box 34019
Seattle, WA 98124-4019

I have completed the initial zoning review for this project and have identified the following that will be required prior to Zoning approval. Additional notices may follow depending on response to this correction notice.

Applicant Instructions

Please click on the following link to learn "[How to Respond to a SDCI Correction Notice](#)". If the 3-step process outlined in this document is not followed, there may be a delay in permit issuance and there is a potential for penalty fees.

For instructions on **uploading corrected plans through your portal**, follow this link: [How to Upload a Document to an Existing Permit](#)

Note that you will not be able to upload corrected plans until all reviews are completed and the project's status is "Corrections Required".

Corrections

1. General Development Standards. Please include a copy of a signed survey, and copy of recorded associate Short Plat (#3032857-LU).

2. Floor Area Ratio. (FAR) (23.45.510) Please provide FAR calculations. A rough look seems to indicate this project is under the higher FAR limit of 1.2, but I cannot find verifiable calculations demonstrating how this proposal achieved FAR compliance. Level 1 & Roof need more detail dimensions on sheet A2.0. Please provide a dimensioned area take-off showing how FAR is calculated.

i). This project has alley access, please state how SMC 23.45.510.E.4.b is applicable? This project has provided access to the alley by virtue the associated platting action.

ii). This project appears to have neglected to include a portion of the stair penthouse extending above the height limit in gross floor area. Please include all portions of the stair penthouse extending above the roof plane.

Project #3032878-LU, Correction Notice #1



3. **Height - rooftop features.** (SMC 23.45.514.J.4) The structure appears to be in conformance with the height limit of the underlying zone including the additional 10 feet for stair penthouses above the height limit. However, it appears rooftop coverage was miscalculated when demonstrating conformance to rooftop features above the height limit. The actual roof area does not include decks below the height limit. Please recalculate and demonstrate compliance.

4. **Landscaping - Street Trees** (SMC 23.45.524.B) It appears one tree is slated to be removed and the other tree in the ROW will be preserved. Please contact SDOT Urban Forestry (for residential projects: (206) 684-TREE, to determine if they have approved this concept or will be required to do something more. Please add a note to the site plan showing size, location and species of tree to be planted, if required.

5. **Design Standards.** (SMC 23.45.529) Please demonstrate how the project meets the requirements of 23.45.529.C, Treatment of street-facing facades, as well as 23.45.529.E Design standards for Row-house structures.

i). Please provide **dimensions**/calculations, colored elevations (as necessary), and/or a written narrative describing proposed features or design elements to demonstrate compliance.

ii). I have noted window openings are less than the required 20%, and will evaluate the Director's authority to grant exceptions once I have actual glazing dimensions.

6. **Parking and Access - bicycle parking.** (SMC 23.54.015.K.2) Required bicycle parking shall be provided in a safe, accessible and convenient location. Bicycle parking hardware shall be installed so that it can perform to it's specifications.

i). Please update plan set to demonstrate how the external bicycle parking with racks meeting requirements of SMC 23.54.015.K.2 & 3.

7. **Parking and Access - required.** (SMC 23.45.536.B.6 & 23.54.025) It appears the project is providing parking stalls on the abutting lot. Please clearly identify required parking stalls based on minimum requirements, and demonstrate compliance to off-site parking covenant requirements, pursuant to 23.54.025.F.

Brooke Friedlander
1518 1st Ave S
Suite 301
Seattle, WA 98134

**WATER AVAILABILITY CERTIFICATE
Building Permit**

For Property: 3410 23rd Avenue W In: Seattle Map No: 20

Parcel ID: 2770601480

Requested for: Building Permit Rec'd by SPU: 10/24/2018

DPD Project(s): 012603-18PA Developer:

Project Description: Construct 3 rowhouses

This Certificate is:
Approved; Building Permit may be approved at this time. Property owner may order water service after meeting all service requirements. No change to the water distribution system is required. (see Water Service Requirements.)

Approval Comments:
Prior to ordering a new water meter that will serve a back lot, a recorded easement with a minimum width of 5' must be provided. If more private water lines will be installed in any portion of an easement, a minimum of one additional foot of easement width must be allowed for each additional private water line. The easement must be continuous from the water meter to the parcel or unit lot served by that meter. At this time a new water certificate may be required to proceed if easement requirements are not met.

Certificate Prepared by: K M Certified by: Kerry Murdock Date: 10/24/2018

This Water Availability Certificate ID No. 20181384 shall be valid for no more than 18 months from the date of certification. Changes after certification date may alter requirements.

Fireflow or other Seattle Fire Department requirements may alter water availability at any time. Water availability requirements will change if existing system cannot support desired water service.

EXISTING WATER SYSTEM INFORMATION

Project #3032878-LU, Correction Notice #1

Seattle Department of Construction and Inspections

700 Fifth Ave, Suite 2000, P.O. Box 34019, Seattle, WA 98124-4019

An equal employment opportunity, affirmative action employer. Accommodations for people with disabilities provided upon request.

Rev. 01/09/2007

Page 1 of 4

Water Service(s):

Size: 1" Type: Domestic Material: Copper Meter: Active

Pressure Zone: 330 Elevation: 129 Static Pressure: 87 psi
Recommended design pressure is 20 psi less than static pressure.

Proximity of nearest fire hydrant is: 206 feet SW of Property. Meets Standards

Comment:

No current flow test or simulation is available. If more current data is required for design purposes, please contact Seattle Public Utilities Development Services Office at 206 684 3333 or spu_dso@seattle.gov to request a hydrant flow test.

Property: 3410 23rd Avenue W WAC ID No: 20181384 DPD Project(s): 012603-18PA

Parcel ID: 2770601480

Water Main:

Size: 8 inches Material: Cast Iron Class: C Year: 1929

- Standard
- Abutting

Water Main is available to serve in: 23rd Avenue W

Distance of main to E margin of street is 22 feet.

Public ROW width is 66 feet.

New Meter Location: 23rd Avenue W

The water system is in conformance with a County approved water comprehensive plan, and has water right claims sufficient to provide service.

The proposed project is within Seattle's water utility's direct service area.

Water Service Requirements:

- The maximum allowable size for new fire service is the same size as the main when the main is part of a looped system or one size smaller when there is not a looped system, the largest available fire service is 8 inches. The maximum allowable size for irrigation, domestic, and combination services is one size smaller than the main; the largest available domestic or irrigation service size is 6 inches; and the largest available combination service is 10 inches.
- One meter will serve the domestic water needs of a single legal parcel. If the legal parcel is shortplatted prior to approval for occupancy after final inspection of the building permit, then separate meters will be required for each legally described parcel. This may necessitate the installation of a water main by the developer.
- The property owner is responsible for the installation, maintenance and liability of the service line from the City union near the meter to the building served. New water service piping from the City union to the building must be inspected by SPU prior to covering. For an inspection, call (206) 684-5800.
- For new water services, Property owner must sign SPU's Application and Agreement for Water Service, pay all connection service charges, and other charges which may or may not be listed below, and submit the legal description of the property to be served. Apply for service at 700 5th Ave., 27th floor. Seattle, WA 98104. The time between the service order and installation varies depending on workload, service size and type. Wait times are approximately 100 days; call SPU,DSO at (206) 684-3333 for the current projected wait time.
- Customers are required to install an approved air gap or reduced pressure backflow assembly (RPBA/RPDA) on all water service connections posing a high health cross-connection hazard (pursuant to WAC 246-290-490). Backflow prevention is also required on water service connections such as fire services, irrigation services, buildings exceeding three stories or 30 ft. in height above the meter (measured to the highest water fixture), and may be required for other water services. SPU and KCHD (King County Health Dept) are the administrative authorities engaged in a joint program identifying actual and potential cross-connections between the public water supply and possible sources of contamination. For answers to specific cross-connection control questions or to request an inspection, please call (206) 684-3536.
- Prior to ordering a new water meter that will serve a back lot, a recorded easement with a minimum width of 5', dedicated for water services shall be provided. If more private water lines will be installed in any portion of an easement, 1' addition of easement width must be allowed for each additional private water line. The easement must be continuous from the water meter to the parcel or unit lot served by that meter. SPU does not install manifolds for 1.5" and larger services and they shall require individual taps.
- Underground piping through an easement, from the City union to the property line, must be either type K or L copper, or Ipex Kitec (PE-AL-PE) and fittings.

- A PRV (pressure-reducing valve) on private property is required. The Uniform Plumbing Code requires a PRV when water pressure is 80 psi or greater for domestic water service only.

Required Payments:

- A calculated Connection Charge may apply when any new water service is ordered.
- When required by the Fire Department, or when requested by the developer, standard charges for hydraulic modeling or a hydrant flow test are due.
- Standard charges are due when any new water service is ordered, or when any existing water service is retired or re-established.
- For questions regarding standard charges or other fees for water service, please contact Seattle Public Utilities Development Services Office at 206-684-3333.

General Comments:

- One domestic water meter is allowed to serve one legal parcel. A subdivision must be approved with address(es) assigned prior to ordering additional water service(s). Please provide detailed plans of water services at time of ordering new meter(s). Please realize that water requirements may change when desired water service is requested.
- If the proposed project changes after this review of Water Availability, or if the current plan submitted to SPU does not detail the entire scope of the proposed project, water requirements may change and a new Water Availability Certificate will need to be issued to supersede the Water Availability Certificate which is based on incomplete or modified data.
- Customers connected to sewers in the King County (KC) service area are subject to the KC capacity charge. Contact King County at (206) 296-1450 or CapChargeEscrow@kingcounty.gov for more information.



**City of Seattle
Seattle Department of Construction and Inspections
Engineering Services**

JULIAN WEBER
1257 S KING STREET
SEATTLE, WA 98144

Re: Project #6688712-CN

Correction Notice #1

Review Type DRAINAGE
Project Address 3424 23RD AVE W
Contact Email DPD@JWASEATTLE.COM
SDCI Reviewer Arthur Thomas Richardson
Reviewer Phone (206) 684-3655
Reviewer Fax
Reviewer Email art.richardson@seattle.gov
Owner Lee Properties, LLC
Corrections also apply to Project(s)

Date November 26, 2018
Contact Phone (206) 953-1305
Address Seattle Department of Construction and Inspections
 700 Fifth Ave
 Suite 2000
 P.O. Box 34019
 Seattle, WA 98124-4019

Applicant Instructions

Please click on the following link to learn "[How to Respond to a SDCI Correction Notice](#)". If the 3-step process outlined in this document is not followed, there may be a delay in permit issuance and there is a potential for penalty fees.

For instructions on **uploading corrected plans through your portal**, follow this link: [How to Upload a Document to an Existing Permit](#)

Note that you will not be able to upload corrected plans until all reviews are completed and the project's status is "Corrections Required".

Codes Reviewed

This project has been reviewed for conformance with the following codes: 2016 Stormwater Code and 2011 Side Sewer Code.

Corrections

DRAINAGE CORRECTIONS (Plan Set.pdf, 11/07/18, 14.8MB):

1. The Memorandum of Drainage Control (MDC) must reflect only this project. Revise the legal description, permit number and address to reflect only this project, not the project to the west.

Revise the permit number on page one and two so they include the new "CN" suffix: 6688712-CN.

Complete the "Grantor" section on page one.

Complete the "Return To" section at the top of page one.

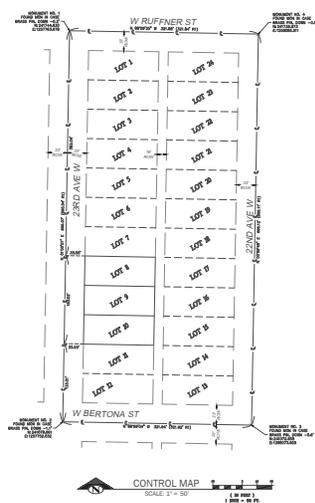
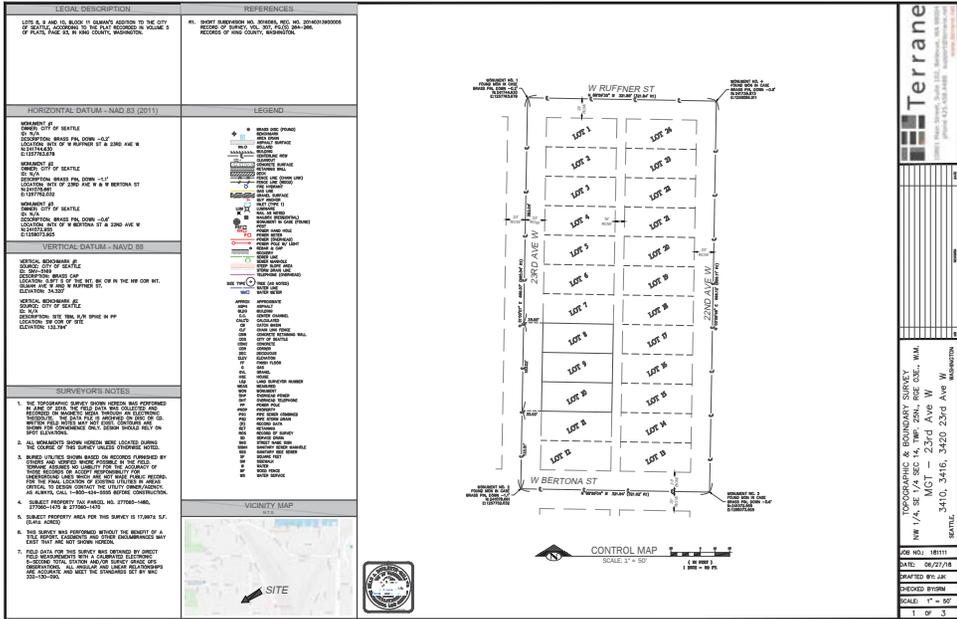
The revised MDC will need to be reviewed and approved by this reviewer prior to recording. Upload the draft, unrecorded MDC after the List Approach Calculator is approved and include in the MDC Exhibit A, which is the far-right tab at the bottom of the List Approach Calculator Excel spreadsheet labeled "MDC".

2. The utilities for this project have been routed in a different location than the easement provided in the short subdivision.

Complete a new easement for the sanitary sewer and storm drainage or show all the sanitary and storm drainage located within the easement provided in the short subdivision.

Side Sewer Easement: <http://www.seattle.gov/Documents/Departments/SDCI/Forms/SideSewerEasement.pdf>

APPEAL ATTACHMENT 'E'



Terrane

15000 UNIVERSITY BLVD, SUITE 200, SEATTLE, WA 98148
 206.461.1111

PROJECT: 23RD AVE W, DISTRICT 5, SEATTLE

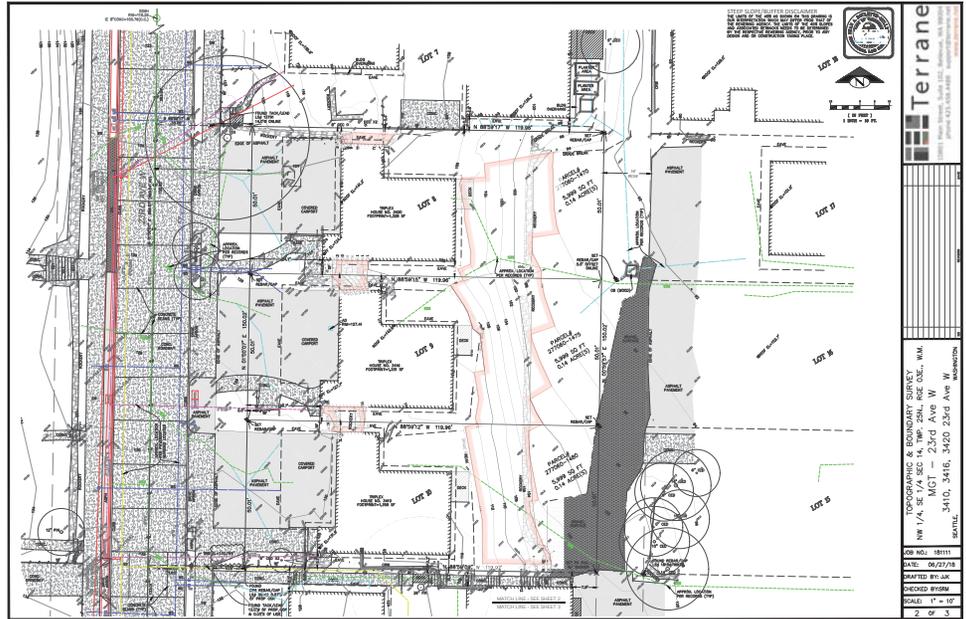
DATE: 06/27/24

DRAWN BY: JAK

CHECKED BY: BSM

SCALE: 1" = 50'

1 OF 3



Terrane

15000 UNIVERSITY BLVD, SUITE 200, SEATTLE, WA 98148
 206.461.1111

PROJECT: 23RD AVE W, DISTRICT 5, SEATTLE

DATE: 06/27/24

DRAWN BY: JAK

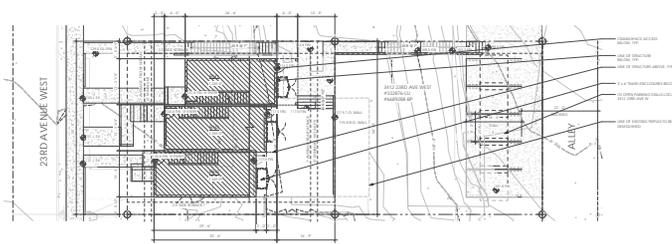
CHECKED BY: BSM

SCALE: 1" = 10'

2 OF 3

SIZE THRESHOLDS FOR COMMON AND NATIVE SEATTLE TREES TO BE CONSIDERED FOR EXCEPTIONAL STATUS FOR ODO DIRECTOR'S RULE 16-2208

Tree Species	Minimum DBH (inches)	Minimum Height (feet)
Common	4	6
Native	4	6
...



1 LOT A Site Plan
SCALE: 1/8" = 1'-0"



JAMES WOOD ARCHITECTS, LLC
1000 1st Avenue, Suite 1000
Seattle, WA 98101
206.461.1000
www.jameswoodarchitects.com



3410 23RD AVE W
2410 23RD AVE W
SHORT PLAT SUBDIVISION

2020
APPROVED FOR
STAFF REVIEW

SITE PLAN

A1.0

APPEAL ATTACHMENT 'G'



APPEAL ATTACHMENT 'H'



November 30, 2018
PanGEO Project No. 18-243

Mirra Homes
11624 SE 5th St, Ste 210
Seattle, WA 98005
Attn: Brooke Friedlander

Subject: Response to SDCI Review Comments
3410-3420 23rd Ave W, Seattle, WA
SDCI Project # 6694812-EX

Dear Ms. Friedlander,

This letter responds to review comments outlined in the Seattle Department of Construction and Inspections (SDCI) Correction Notice #1 dated November 14, 2018, with regard to relief from prohibition on steep slope development application. Our responses for the geotechnical aspect of the comments are summarized below.

1. Past Street Grading Profiles along 23rd Avenue West

We reviewed City of Seattle street grading profiles along the east side of 23rd Avenue West ROW (approximately the west boundary line of the subject site) to estimate the thickness of fill present at the site. The street grading profiles are shown on Plate 1 on page 2.

The grading profiles indicate that the existing street grade along the west site boundary was constructed by placing about 6 to 21 feet of fill as a result of past street grading. The fill thickness was about 13 to 21 feet for 3410 and 3416 – 23rd Avenue W parcels.

2. Steep Slope Areas in the Western Portion of the Site

The site topographic survey map showed three small steep slope areas at the northwest corners of each house. These steep slope areas are actually rockeries that provide grade separation between the raised parking areas west of the house and east yard. We believe that

Ms. Brooke Friedlander
Proposed Development: 3410-3420 23rd Avenue W, Seattle, WA
November 30, 2018

the rockeries were placed during house development, and is a result of past grading and past development. Photos of these existing rockeries are shown in Plates 3 to 5 for reference.

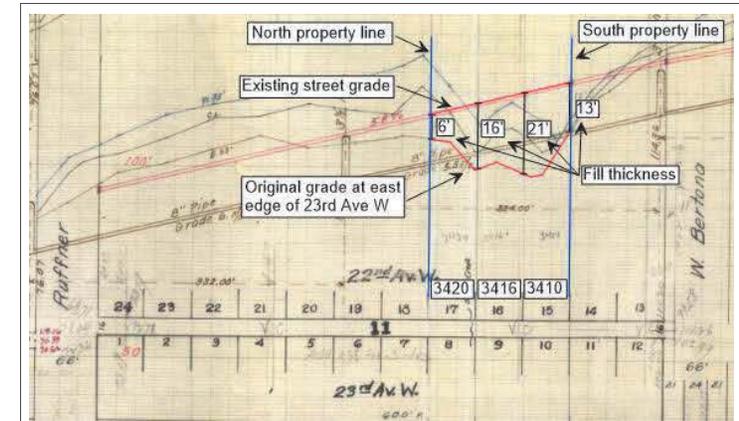
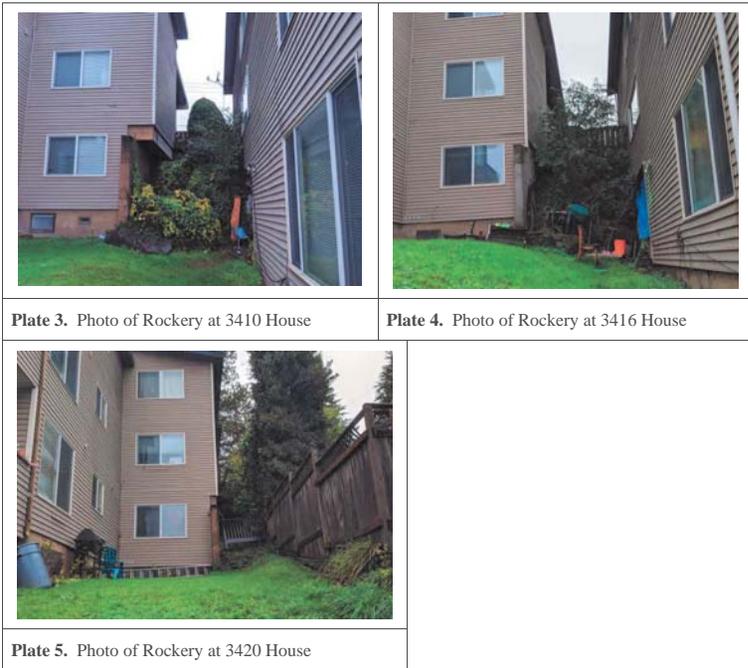


Plate 1. City of Seattle street grading profile along east side of 23rd Avenue West

3. Steep Slope Areas in the Eastern Portion of the Site

The site topographic survey map showed a steep slope area east of the houses. A rockery is also located at the toe of the steep slope area. The total height of this steep slope area is 10 to 12 feet. The rockery is approximately 2 to 3 feet in height. A Photo of this existing rockery is shown in Plate 6 for reference. In our opinion, this steep slope is also caused by previously grading during house and rockery construction to create a gentle area along the alley. Additionally, it is our opinion that the entire site is underlain by a layer of fill, and the original site grade is not a steep slope, as explained in detail in the following section.

Ms. Brooke Friedlander
Proposed Development: 3410-3420 23rd Avenue W, Seattle, WA
November 30, 2018



4. Subsurface data Review

We further reviewed subsurface data and soil samples encountered in our test borings. Based on our further review of the soil samples, existing street grading profiles, and the current site grade, it is our opinion that the colluvium unit describer in PG-1 and PG-2 is likely old colluvium fill placed during street grading and house development. The original grade below fill and colluvium fill (ie. Top of Lawton Clay and Pre-Fraser Deposits) is not a steep slope. We have updated our boring logs and subsurface profile to reflect this interpretation.

In Summary, based on the review of street grading profile, soil samples, and current ground features, in our opinion, the steep slopes at the site are a result of past grading, and should qualifies for relief from prohibition on steep slope development.

Ms. Brooke Friedlander
Proposed Development: 3410-3420 23rd Avenue W, Seattle, WA
November 30, 2018



We trust that the information outlined in this letter meets your need at this time. Please call if you have any questions.

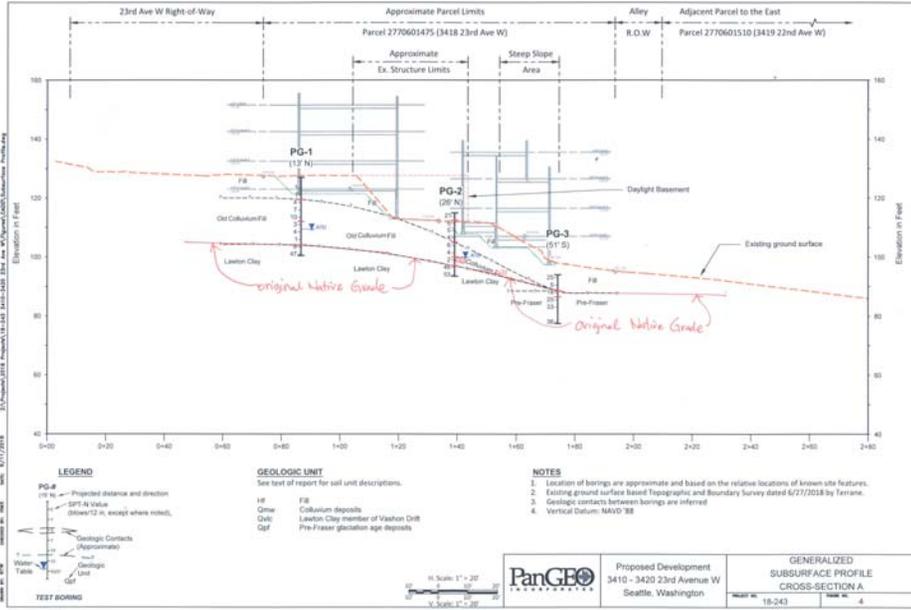
Sincerely,



Michael H. Xue, P.E.
Senior Geotechnical Engineer

Attachments:

- Updated Generalized Subsurface Profile Cross Section A
- Updated Logs of Test Borings PG-1 through PG-3



Project: 3410-3420 23rd Ave W
 Job Number: 18-243
 Location: 3410-3420 23rd Ave W, Seattle, WA
 Coordinates: Northing: , Easting:
 Surface Elevation: 127.0ft
 Top of Casing Elev.: N/A
 Drilling Method: HSA
 Sampling Method: SPT

Depth, (ft)	Sample No.	Sample Type	Blows / 6 in.	Other Tests	Symbol	MATERIAL DESCRIPTION	N-Value ▲		
							PL	Moisture	LL
0						Very loose, moist, light brown, poorly graded, medium SAND. (Fill). Top 2.5 feet hand dug. Occasional minor iron oxide staining.			
1-5	S-1		1 1 0						
5-10	S-2		1 0 1			Soft, moist, gray SILT with sand; occasional wood fragments. (Old Colluvium Fill). Becomes medium stiff.			
10-15	S-3		1 2 2						
15-17.5	S-4		1 3 4			Layer of organic silt: 3 inches thick.			
17.5-20	S-5		7 5 5						
20-23	S-6		1 1 2			Very loose, very moist, gray, silty, medium SAND; pockets of clean sand. (Old Colluvium Fill). Becomes wet.			
23-25	S-7		1 1 3						
25-26.5	S-8		0 1 0			Stiff, moist, light brown SILT; subhorizontally laminated. (Lawton Clay). Becomes hard and gray.			
26.5-30	S-9		1 2 6						
30	S-10		10 17 30			Boring terminated at 26.5 feet below ground surface. Perched groundwater was encountered from 17.5 to 23 feet during drilling.			

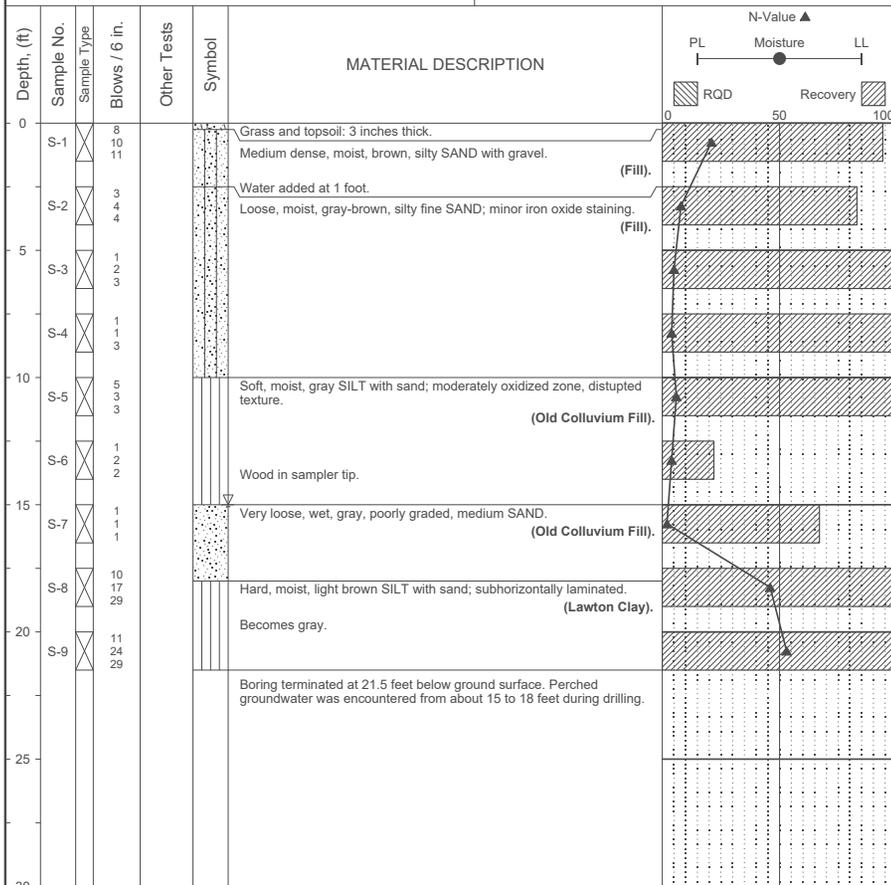
Completion Depth: 26.5ft
 Date Borehole Started: 8/3/18
 Date Borehole Completed: 8/3/18
 Logged By: J. Manke
 Drilling Company: CN Drilling
 Remarks: Borings drilled using an acker hand portable drill rig. Standard penetration test (SPT) sampler driven with a 140 lb. safety hammer. Hammer operated with a rope and cathead mechanism. Surface elevation estimated based on the City of Seattle GIS map.

PanGEO INCORPORATED **LOG OF TEST BORING PG-1**

The stratification lines represent approximate boundaries. The transition may be gradual. **Figure A-2**
 Sheet 1 of 1

Project: 3410-3420 23rd Ave W
 Job Number: 18-243
 Location: 3410-3420 23rd Ave W, Seattle, WA
 Coordinates: Northing: , Easting:

Surface Elevation: 115.0ft
 Top of Casing Elev.: N/A
 Drilling Method: HSA
 Sampling Method: SPT

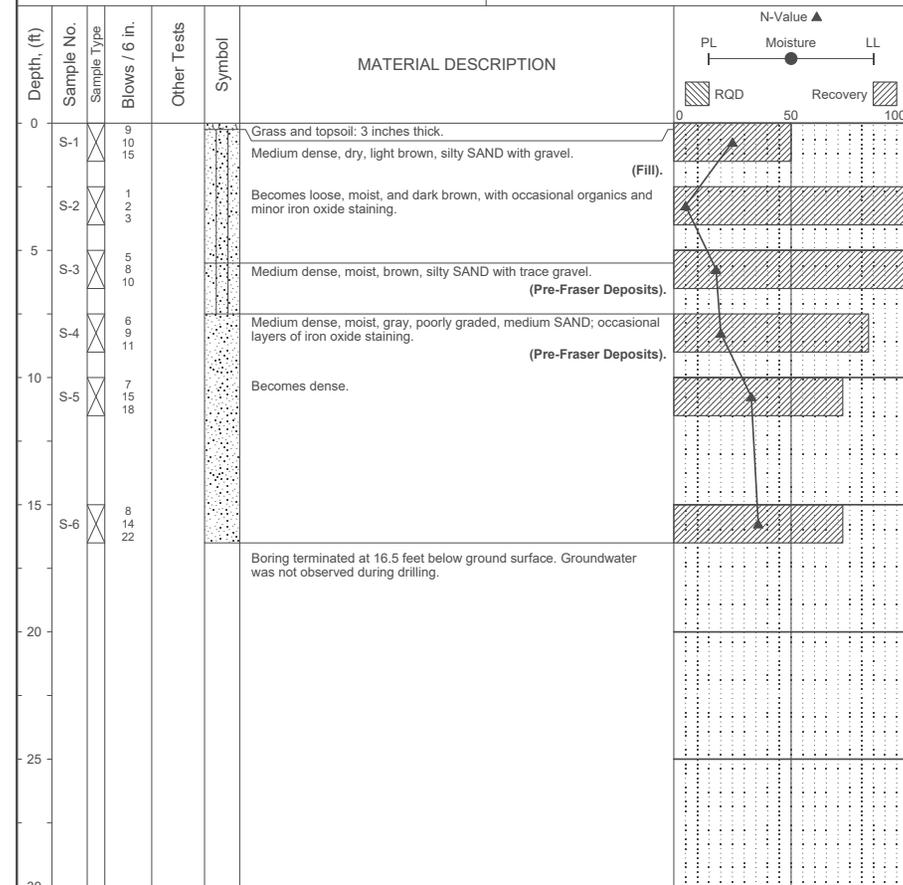


Completion Depth: 21.5ft
 Date Borehole Started: 8/3/18
 Date Borehole Completed: 8/3/18
 Logged By: J. Manke
 Drilling Company: CN Drilling

Remarks: Borings drilled using an acker hand portable drill rig. Standard penetration test (SPT) sampler driven with a 140 lb. safety hammer. Hammer operated with a rope and cathead mechanism. Surface elevation estimated based on the City of Seattle GIS map.

Project: 3410-3420 23rd Ave W
 Job Number: 18-243
 Location: 3410-3420 23rd Ave W, Seattle, WA
 Coordinates: Northing: , Easting:

Surface Elevation: 94.0ft
 Top of Casing Elev.: N/A
 Drilling Method: HSA
 Sampling Method: SPT



Completion Depth: 16.5ft
 Date Borehole Started: 8/3/18
 Date Borehole Completed: 8/3/18
 Logged By: J. Manke
 Drilling Company: CN Drilling

Remarks: Borings drilled using an acker hand portable drill rig. Standard penetration test (SPT) sampler driven with a 140 lb. safety hammer. Hammer operated with a rope and cathead mechanism. Surface elevation estimated based on the City of Seattle GIS map.

The stratification lines represent approximate boundaries. The transition may be gradual.

The stratification lines represent approximate boundaries. The transition may be gradual.